

HVAC UPGRADES TO SECOND AND THIRD FLOORS AT GRETNA CITY HALL FOR THE CITY OF GRETNA

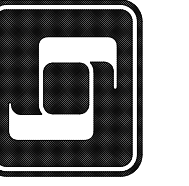
740 SECOND STREET

GRETNA, LOUISIANA

These plans were prepared in the office under our personal supervision and to the best of our knowledge comply with State and Local Codes. We will not generally administer construction.
BURGDAHL & GRAVES ARCHITECTS, APC
by: *P. Burghdahl* #1791



BURGDAHL & GRAVES
A.I.A. ARCHITECTS
A PROFESSIONAL CORPORATION · PHONE (504) 366-4433



GRETNA, LA 70053

HVAC UPGRADES
GRETNA CITY HALL
FOR THE CITY OF GRETNA

740 SECOND STREET

DATE: 3-22-2024
DRAWN BY:
REVISIONS:

CS

SHEET 1 of 14



VICINITY MAP
NOT TO SCALE



CITY OF GRETNA

BELINDA C. CONSTANT
MAYOR

COUNCIL MEMBERS

WAYNE RAU
MAYOR PRO-TEM

RUDY S. SMITH

MICHAEL A. HINYUB

MARK K. MILLER

JACKIE BERTHELOT

COUNCILMAN AT LARGE

DISTRICT 1

DISTRICT 2

DISTRICT 3

DISTRICT 4

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CONTRACTOR'S USE OF PREMISES/PHASING OF WORK

1. THE GRETNA CITY HALL BUILDING WILL BE OCCUPIED BY STAFF AND VISITORS DURING CONSTRUCTION WITH NO UNDUE INTERRUPTION OF DAILY OPERATIONS ALLOWED. COORDINATE ALL ACTIVITIES IN ADVANCE. ALSO SEE NOTES ON DRAWINGS AND SPECIFICATION SECTIONS REGARDING CONTRACTOR'S USE OF SITE, WORK RESTRICTIONS, PHASING OF WORK, ETC.
2. THIS IS A SECURE BUILDING, AND ALL WORKERS SHALL ABIDE BY ACCESS REQUIREMENTS/ RESTRICTIONS SET FORTH BY OWNER.
3. PRE-PLAN INTERIOR WORK TO SUIT STAFF FUNCTIONS AND SCHEDULES. DON'T BEGIN WORK IN ANY ONE AREA UNTIL ALL NECESSARY TRADES AND MATERIALS ARE AVAILABLE TO COMPLETE THE INSTALLATION OF REQUIRED WORK, INCLUDING RELATED ELECTRICAL AND INTERIOR FINISHES IN THE SHORTEST POSSIBLE TIME.
4. NOISY OPERATIONS (MASONRY/PLASTER DEMOLITION, CONCRETE CORING, ETC.) MUST BE SCHEDULED FOR BUILDING "OFF HOURS", WITH CONTRACTOR RESPONSIBLE FOR COSTS BORNE BY OWNER FOR THEIR PERSONNEL TO BE PRESENT DURING "OFF HOURS".
5. NO WALLS, CEILINGS, ETC. MAY BE LEFT OPEN ANY LONGER THAN NECESSARY TO ACCOMPLISH IMMEDIATE WORK AT HAND. CLOSE CEILINGS AS WORK PROGRESSES.
6. CONTRACTOR SHALL MAINTAIN SAFE WORK AREAS, AND CLEAN-UP ON A DAILY BASIS.
7. COORDINATE INDIVIDUAL ACTIVITIES WITH BUILDING MANAGEMENT 1 WEEK AHEAD OF TIME. DO NOT PROCEED WITHOUT SPECIFIC APPROVAL.
8. NO INTERRUPTION OF BUILDING SERVICES (POWER, HVAC, DATA, SPECIAL SYSTEMS, ETC.) ALLOWED WITHOUT PRIOR APPROVAL BY OWNER.

ARCHITECT



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ENGINEERS

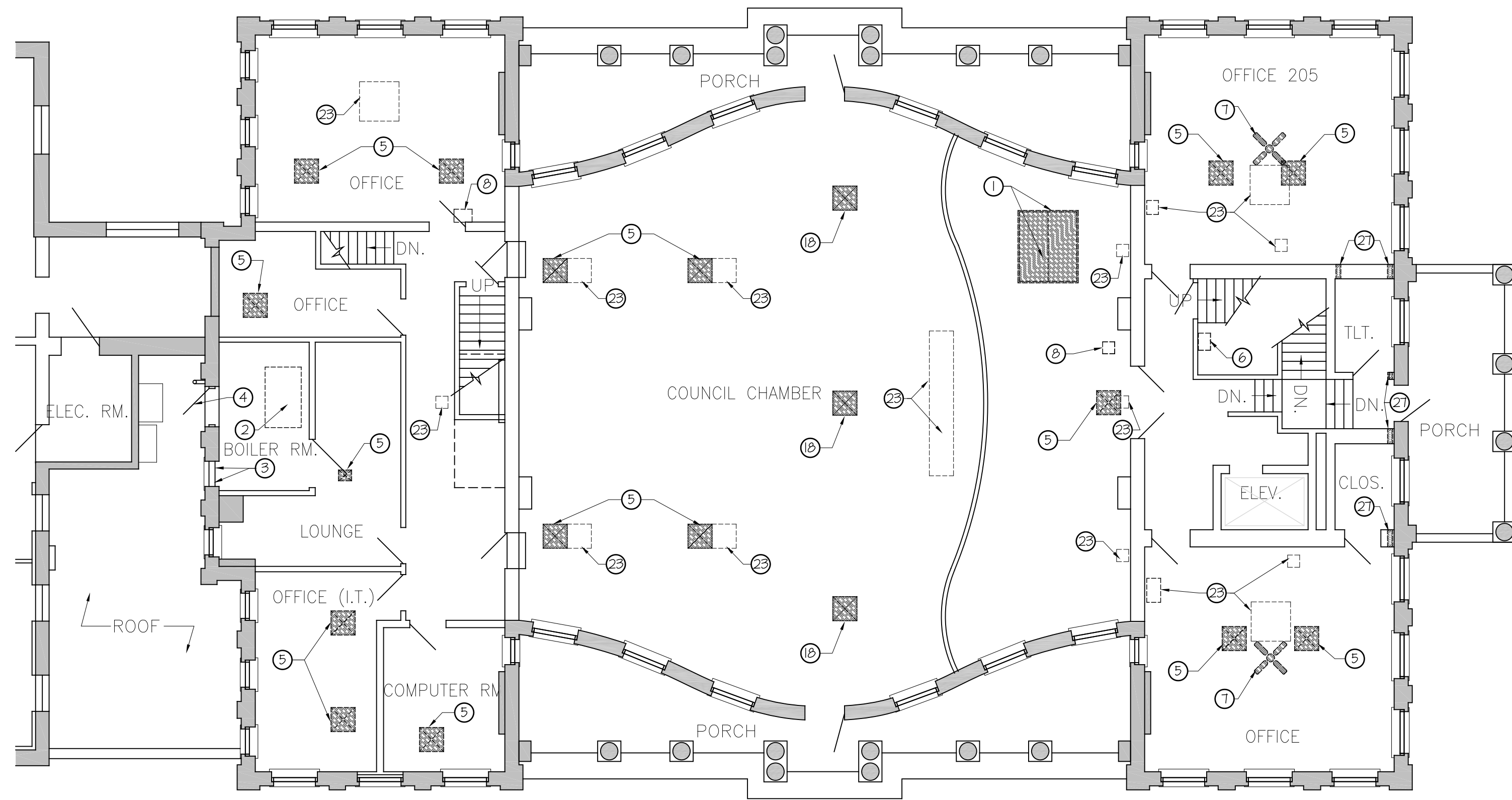
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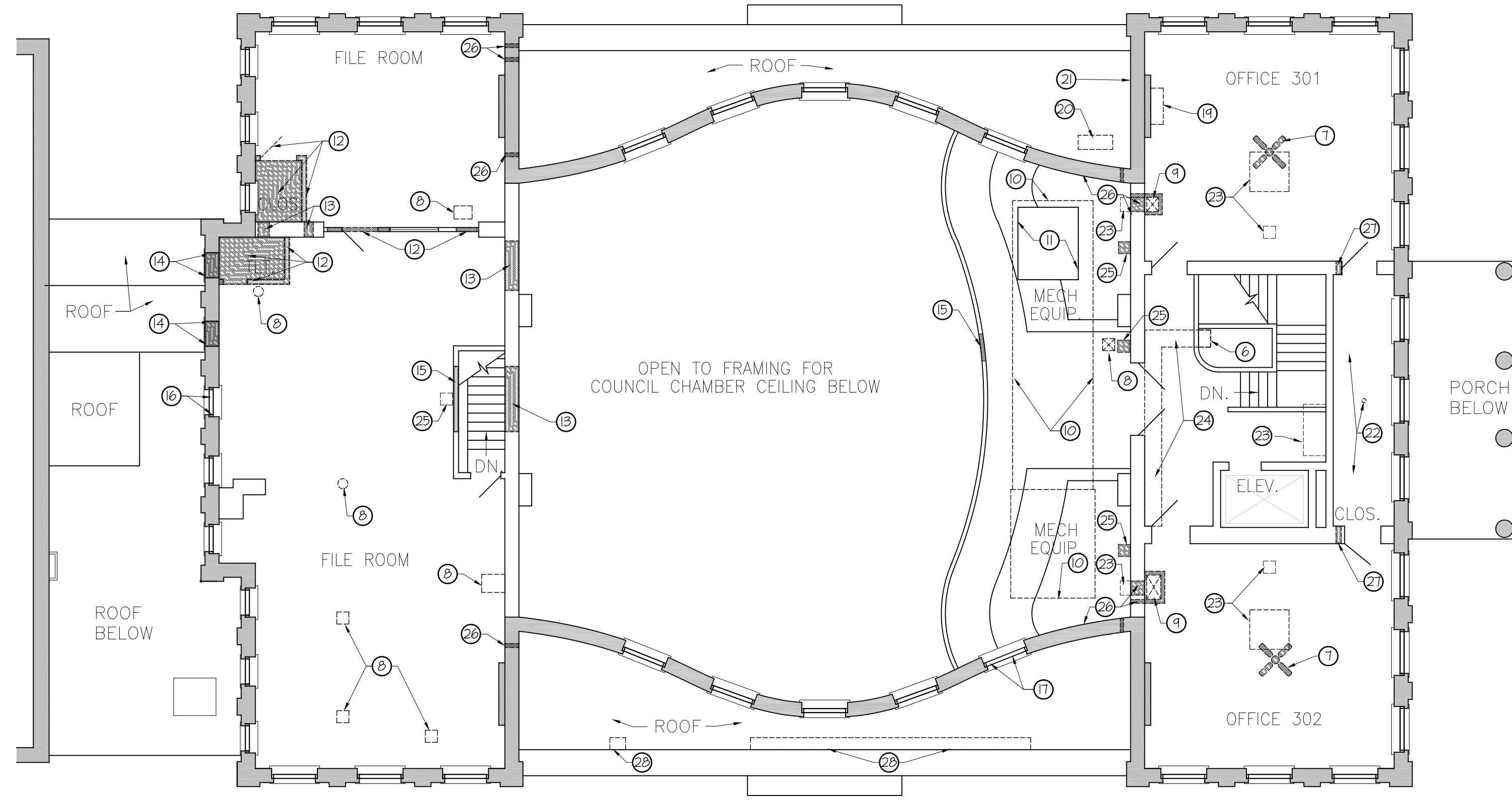
PHASING AND PROJECT SEQUENCING

TO REDUCE IMPACT ON DAILY BUILDING OPERATIONS AND INSURE NO MONDAY THROUGH FRIDAY SHUTDOWN, PROJECT SHALL BE SEQUENCED AS FOLLOWS:

1. NO WORK AT BUILDING INTERIOR UNTIL ALL MECHANICAL EQUIPMENT IS SET ON ROOFTOPS AND MECH. AND ELEC. LINES RUN FROM ROOF TO BUILDING EXTERIOR WALLS.
2. ALL MATERIALS REQUIRED FOR INTERIOR INSTALLATIONS (INCLUDING DUCTWORK) MUST BE ON SITE PRIOR TO COMMENCEMENT OF INTERIOR WORK.
3. ALL EXISTING WINDOW WORK AND NEW LOUVER WORK SHALL ONLY TAKE PLACE WHEN NEW REPLACEMENTS ARE ON SITE AND READY FOR INSTALL.
4. ALL WALL AND WINDOW OPENINGS SHALL BE CLOSED FOR SECURITY AND BE WEATHERTIGHT AT THE END OF EACH DAY.
5. CONTRACTOR SHALL PROVIDE A 2-WEEK "LOOK AHEAD" SCHEDULE FOR OWNER/ BUILDING MANAGEMENT'S USE FOR COORDINATION FOR INTERIOR WORK.
6. ALL WORK IN EACH ROOM OR OFFICE SPACE SHALL BE COMPLETED BEFORE MOVING TO A DIFFERENT ROOM OR OFFICE.
7. DEMOLITION AND INSTALLATION OF INTERIOR WORK MUST TAKE PLACE OUTSIDE OF NORMAL BUILDING HOURS (8:00 AM - 4:30 PM WEEKDAYS). CONTRACTOR TO REIMBURSE OWNER FOR COSTS TO OPEN BUILDING OUTSIDE OF NORMAL BUSINESS HOURS. RATE COST FOR ONE CITY EMPLOYEE SHALL BE \$35 DOLLARS PER HOUR FOR AFTER HOURS WORK.
8. CONTRACTOR TO UTILIZE DUST BARRIERS THROUGHOUT. ALL SPACES MUST BE FULLY CLEANED BEFORE NEXT BUSINESS DAY.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR JOB VERIFYING ALL EXISTING CONDITIONS, TAKING FIELD MEASUREMENTS, ETC. AS NECESSARY TO INSURE PROPER FIT OF NEW AND MODIFIED OPENINGS.
10. CONTRACTOR TO COORDINATE ACCESS TO, AND WORK WITHIN, ALL SPACES WITH OWNER PRIOR TO PROCEEDING.



1 SECOND FLOOR DEMOLITION/REMEDIAL PLAN
 D-1 scale 1/8"=1'-0"



2 THIRD FLOOR DEMOLITION/REMEDIAL PLAN
 D-1 scale 1/8"=1'-0"

DEMOLITION GENERAL NOTES:

- A. ALL DEMOLITION WORK SHALL BE COORDINATED WITH CITY HALL PERSONNEL FOR MINIMUM INTERRUPTION OF DAILY BUILDING OPERATIONS.
- B. CONTRACTOR SHALL NOTIFY CITY HALL PERSONNEL A MINIMUM 2 WEEKS ADVANCE NOTICE OF DEMOLITION WORK IN EACH AREA.
- C. CONTRACTOR TO PROTECT EXIST. OFFICE FURNITURE, STORAGE SHELVING, BOXED FILES, ETC. IN EACH AREA OF WORK.
- D. ALL MASONRY DEMOLITION AND STUD WALL DEMOLITION SHALL BE REMOVED AND DEBRIS CLEARED TO PREPARED FOR NEW WORK.
- E. CLOSE ANY EXTERIOR OPENINGS WITH PLYWOOD AND MAKE WEATHERTIGHT AT END OF EACH WORK DAY.

DEMOLITION KEY NOTES: (1)

- 1. REMOVE AND ENCLOSE RETURN AIR OPENING IN CEILING PER MECHANICAL. REFRAME OPENING WITH NEW CEILING TILE / GRID INFILL TO MATCH ADJACENT.
- 2. REMOVE EXIST. BOILER SYSTEM PER MECHANICAL. THOROUGHLY CLEAN FLOORS, WALLS AND CEILING SURFACES AND PREPARE FOR NEW PAINT.
- 3. EXISTING LOUVER WINDOW TO REMAIN. PATCH AND INFILL LOUVER BLADES AND PERIMETER FRAME AT REMOVED PIPES / CONDUIT. CLEAN INTERIOR AND EXTERIOR SIDES OF EXIST. LOUVER WINDOW AND PREPARE FOR NEW PAINT. SEE MECHANICAL FOR LOUVER CLOSURE WORK.
- 4. EXISTING LOUVER DOOR TO REMAIN. CLEAN INTERIOR AND EXTERIOR SIDES OF EXIST. LOUVER DOOR AND PREPARE FOR NEW PAINT. SEE MECHANICAL FOR LOUVER CLOSURE WORK.
- 5. REMOVE EXIST. CEILING DIFFUSERS PER MECHANICAL. PATCH AND REPAIR CEILING GRID AND PREPARE FOR NEW CEILING TILE INFILL.
- 6. REMOVE EXIST. VERTICAL DUCTWORK PER MECHANICAL. PATCH AND REPAIR WALL AND PREPARE FOR NEW PAINT.
- 7. REMOVE EXIST. CEILING FAN PER MECHANICAL. PREPARE FOR NEW CEILING TILE TO MATCH ADJACENT.
- 8. REMOVE EXIST. DUCTWORK PER MECHANICAL. PATCH, REPAIR AND INFILL FLOOR / WALL AS REQUIRED.
- 9. REMOVE EXIST. WALL FURRINGS AND CONCEALED DUCTWORK PER MECHANICAL. PREPARE FOR NEW WALL FRAMING AND NEW PAINT.
- 10. REMOVE EXIST. HVAC SYSTEM PER MECHANICAL. PATCH, INFILL AND REPAIR ALL OPENINGS IN FLOOR, WALLS AND CEILINGS TO MATCH ADJACENT.
- 11. PATCH AND REPAIR FLOOR DECK WITH WOOD FRAMING AT 16" ON CENTER AND INSTALL 3/4" PLYWOOD FLOOR DECK AT REMOVED RETURN AIR OPENING.
- 12. REMOVE FULL HEIGHT STUD WALL FRAMING / CONSTRUCTION, DOOR, RAISED FLOOR DECK AT CLOSET AND FULL HEIGHT STUD WALL FRAMING, PLUMBING, WALL TILE AND FLOOR TILE AT ABANDONED TOILET ROOM. PATCH AND REPAIR FLOORING TO MATCH ADJACENT WOOD FLOOR.
- 13. REMOVE PORTION OF CONCRETE / BRICK WALL FOR NEW DUCTWORK PER MECHANICAL. REFRAME OPENING WITH 1/2" STEEL LINTEL 6"D x 8"H ON BOTH SIDES OF WALL, THROUGH BOLTED AND BEARING 8" MIN. EACH SIDE TO SUPPORT NEW WALL OPENING. SEE MECHANICAL AND COORDINATE FOR REQUIRED SIZES.
- 14. REMOVE BRICK / MASONRY WALL INFILL AT PRIOR OPENING TO PREPARE FOR NEW LOUVER OPENING PER MECHANICAL. EXIST. MASONRY HEADER AND SILL TO REMAIN, REFRAME / MODIFY OPENING, PROVIDE 2x6 PERIMETER BLOCKING AND PERIMETER SELF ADHERING WATERPROOF AND TOOTH-IN NEW BRICK JAMBS TO MATCH ADJACENT OPENINGS. SEE OPENING SCHEDULE ON SHEET A-2.
- 15. REMOVE PORTION OF STUD WALL AND WOOD PANELING TO PREPARE FOR NEW DUCTWORK PER MECHANICAL. REFRAME WALL WITH NEW WOOD HEADER TO SUPPORT NEW WALL OPENING AS REQUIRED.
- 16. REMOVE INSULATED TRANSOM WINDOW PANEL AT INSULATED CHILLER LINES THROUGH TRANSOM WINDOW OPENING. PREPARE FOR NEW INSULATED PANEL AND NEW MECHANICAL LINES, SEE MECHANICAL AND OPENING SCHEDULE ON SHEET A-2.
- 17. REMOVE EXIST. SHEET METAL PANEL COVERING, METAL LOUVER AND EXIST. PLYWOOD SUBSTRATE. PREPARE UPPER WINDOW PANEL FOR NEW HURRICANE RATED INSULATED GLAZING TO MATCH EXIST. LOWER GLAZING. SEE OPENING SCHEDULE ON SHEET A-2.
- 18. REMOVE AND REPLACE EXIST. CEILING DIFFUSER WITH NEW PER MECHANICAL AT NEW WORK.
- 19. REMOVE EXIST. INTERIOR WALL MOUNTED A/C UNIT PER MECHANICAL. PATCH AND INFILL WALL TO MATCH ADJACENT AND PREPARE FOR NEW PAINT.
- 20. REMOVE EXIST. EXTERIOR A/C UNIT, PIPING AND PAD PER MECHANICAL.
- 21. PATCH AND REPAIR EXTERIOR BRICK TO MATCH ADJACENT, SEAL HOLE WEATHERTIGHT AND PREPARE FOR NEW PAINT.
- 22. REMOVE EXIST. PULL STRING LIGHT FIXTURE TO PREPARE FOR NEW A/C UNIT PER MECHANICAL. LOWER SPRINKLER HEADS, PREPARE FOR NEW LIGHTS PER ELECTRICAL AND NEW SUSPENDED CEILING GRID SYSTEM.
- 23. REMOVE / MODIFY EXIST. CEILING SYSTEM / CEILING TILES FOR NEW HVAC WORK PER MECHANICAL.
- 24. REMOVE LOWER CEILING GRID SYSTEM AT CONCEALED DUCTWORK PER MECHANICAL. PATCH, REPAIR AND INFILL FLUSH WITH ADJACENT CEILING GRID.
- 25. REMOVE PORTION OF CONCRETE FLOOR / WOOD DECK FOR NEW DUCTWORK PER MECHANICAL. REFRAME AND SUPPORT NEW FLOOR OPENING AS REQUIRED.
- 26. REMOVE PORTION OF CONCRETE / BRICK WALL FOR NEW DRAIN LINES PER MECHANICAL. CORE DRILL HOLES, INFILL WALL AND SEAL PERIMETER OF PIPE WEATHERTIGHT AT EXTERIOR AND INTERIOR SIDES.
- 27. REMOVE PORTION OF CONCRETE / BRICK WALL FOR NEW DRAIN LINES PER MECHANICAL. CORE DRILL HOLES, INFILL WALL AND SEAL PERIMETER OF PIPE AT BOTH SIDES.
- 28. REMOVE SHEET METAL AT CHILLER LINES. PATCH AND REPAIR PARAPET TO MATCH ADJACENT.



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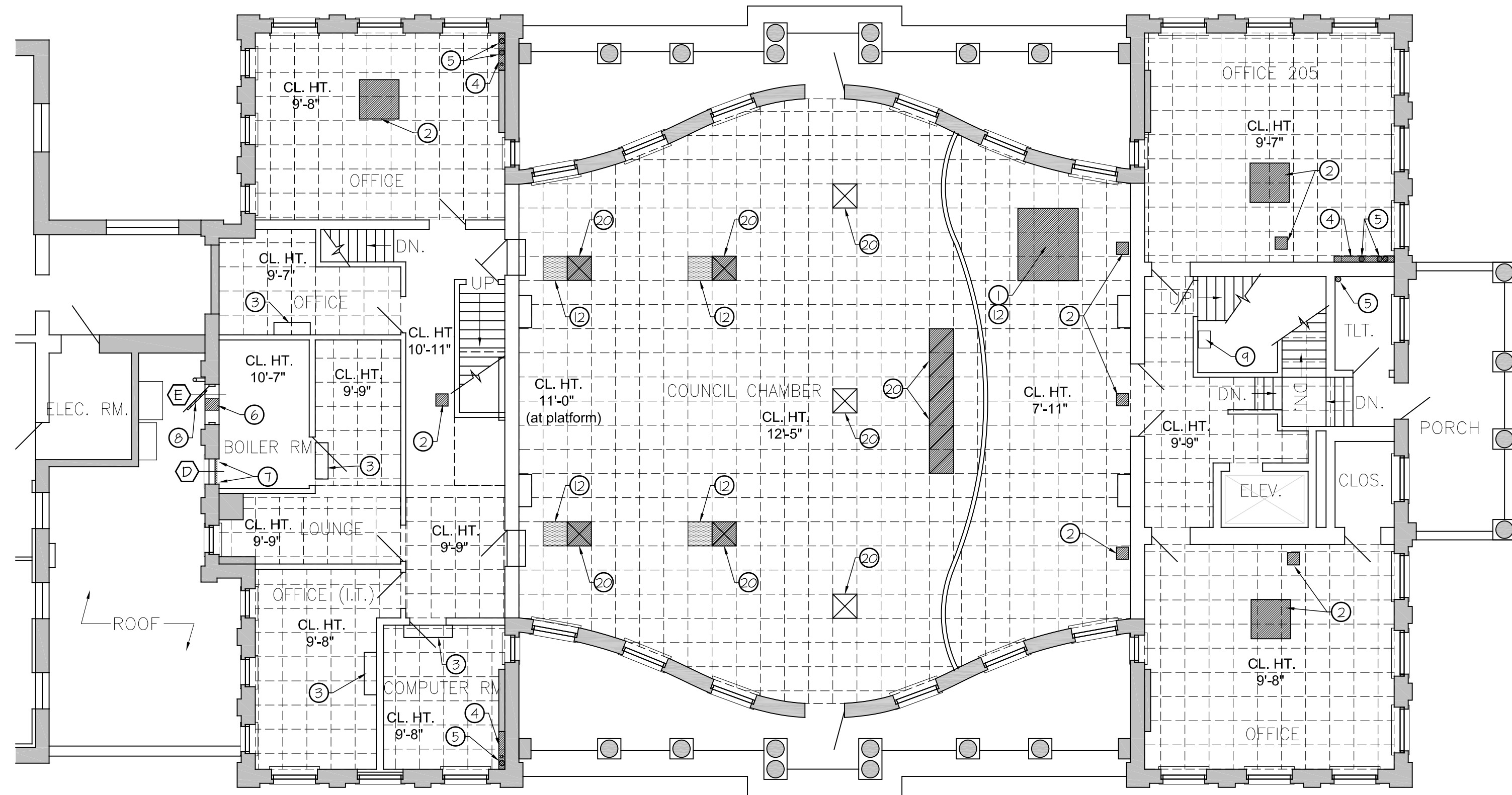
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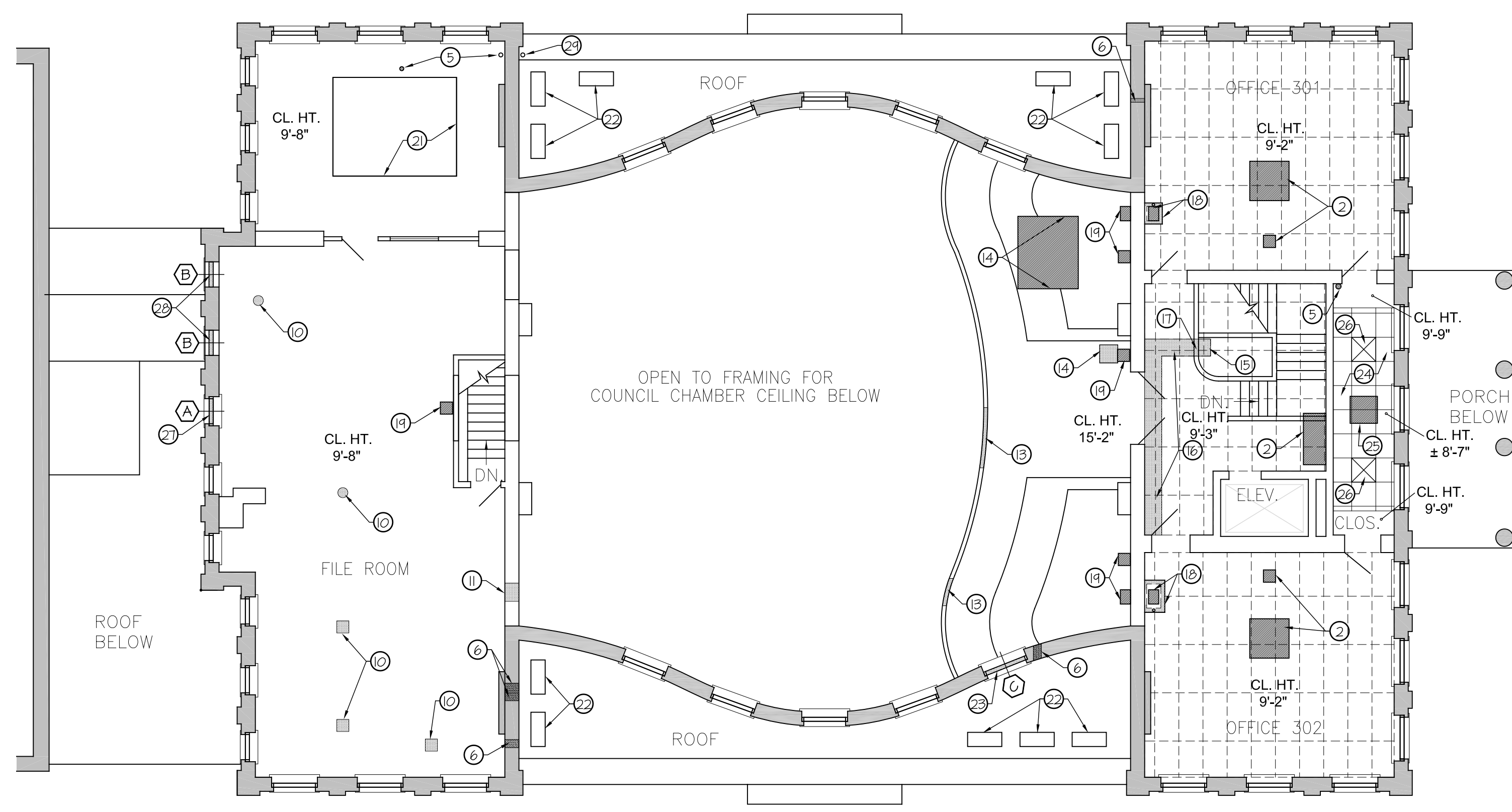
740 SECOND STREET

DATE: 3-22-2024
 DRAWN BY:
 REVISIONS:

D-1
 SHEET 2 of 14



1
A-1
SECOND FLOOR PLAN
scale 1/8"=1'-0"



2
A-1
THIRD FLOOR PLAN
scale 1/8"=1'-0"

GENERAL CONSTRUCTION NOTES:

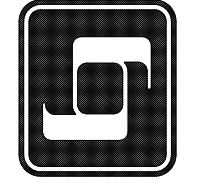
- A. CONTRACTOR TO PROTECT EXIST. BUILDINGS, GROUNDS, UTILITIES, SPECIAL SYSTEMS, CONTENTS, ETC. FROM CONSTRUCTION RELATED DAMAGE. ANY DAMAGE CAUSED BY CONTRACTOR SHALL BE CORRECTED (REPLACED/REPAIRED) AT NO COST TO THE OWNER TO MATCH EXIST. DETAILS.
- B. UPON COMPLETION OF PROJECT, EXIST. SITE TO BE RETURNED TO PRE-CONSTRUCTION CONDITIONS, INCLUDING COMPLETE CLEANUP, REPLACEMENT OF DAMAGED CEILINGS, FLOORING, ETC. PROTECT AS REQUIRED.
- C. CONTRACTOR TO PROVIDE CLEANUP ON A DAILY BASIS AT INTERIOR AND EXTERIOR. NO TRASH SHALL BE STORED ON SITE, UNLESS IN AN APPROVED DUMPSTER. VERIFY LOCATION WITH CITY HALL STAFF.
- D. PROPER PHASING AND SEQUENCING OF CONSTRUCTION IS CONTRACTOR'S RESPONSIBILITY. SAFETY OF CITY HALL STAFF AND VISITORS THROUGHOUT THE CONSTRUCTION PERIOD SHALL BE OF PRIME CONSIDERATION.
- E. WORK SHALL BE COORDINATED TO PROVIDE SAFE CLEAR ACCESS TO BUILDING ENTRANCES AND EGRESS FOR BUILDING STAFF, VISITORS AND DISABLED.

KEY NOTES: ①

- 1. INFILL OPENING WITH CEILING GRID SYSTEM TO MATCH EXIST. AT REMOVED RETURN AIR GRILLE.
- 2. NEW CEILING HVAC SYSTEM PER MECHANICAL. MODIFY/ REMOVE EXIST. CEILING SYSTEM AS REQUIRED TO FIT NEW UNIT. MOUNT UNIT FLUSH WITH EXIST. CEILING GRID.
- 3. NEW HALL MOUNTED HVAC SYSTEM PER MECHANICAL. PROVIDE WALL BLOCKING AS REQUIRED TO SUPPORT UNIT.
- 4. NEW HALL TO ENCLOSE MECHANICAL PIPING. SEE MECHANICAL FOR ROUTING. INSTALL 16" O.C. WOOD FRAMING AND GYP. BOARD FULL HEIGHT. CAULK PERIMETER AND PAINT GYP. BD. TO MATCH ADJACENT WALLS.
- 5. NEW PIPING ROUTING PER MECHANICAL.
- 6. ENCLOSE MASONRY OPENING AT REMOVED MECHANICAL PIPING (FLUE, CHILLER, REFRIGERANT). PATCH AND REPAIR BRICK/MASONRY WALL TO MATCH ADJACENT AND SEAL WEATHERTIGHT.
- 7. ENCLOSE EXIST. LOUVER OPENINGS PER MECHANICAL. PATCH ALL HOLES IN METAL FRAME/LOUVERS AND SEAL PERIMETER WEATHERTIGHT.
- 8. ENCLOSE EXIST. LOUVER DOOR, SIMILAR TO EXIST. LOUVER OPENING. COVER DOOR LOUVER AND SEAL WEATHERTIGHT.
- 9. REPAIR AND INFILL FLOOR TO MATCH EXIST. REFRAME OPENINGS, PATCH AND REPAIR TO MATCH ADJACENT FINISHES AND SEAL SMOKE TIGHT.
- 10. INFILL OPENING IN FLOOR DECK (WOOD) AT REMOVED DUCTWORK. PROVIDE PERIMETER WOOD FRAMING AND SET 3/4" PLYWOOD INFILL FLUSH WITH ADJACENT WOOD FLOORING AND SEAL SMOKE TIGHT.
- 11. ENCLOSE MASONRY OPENING AT REMOVED MECHANICAL DUCTWORK. PATCH AND REPAIR BRICK/MASONRY WALL TO MATCH ADJACENT AND SEAL SMOKE TIGHT.
- 12. INFILL EXIST. CEILING WITH MATCHING CEILING TILE IN TYPE, SIZE, EMBOSSED DESIGN/ STUCCO FINISH, ETC. (MATCHING PVC TYPE LAUREL WREATH-FAUX TIN CEILING TILE, 2x2' WHITE MATTE AND GENESIS STUCCO PRO REVEALED EDGE CEILING TILE, 2x2' WHITE MATTE).
- 13. INFILL EXIST. STUD WALL AND WOOD PLANKS AT REMOVED DUCTWORK. PATCH OPENING TO MATCH ADJACENT WOOD PLANK WALL.
- 14. INFILL EXIST. WOOD DECK AT MECHANICAL OPENING (R/A, DUCTWORK). REFRAME OPENING/ PERIMETER AND DECK WITH 3/4" PLYWOOD FLUSH WITH ADJACENT WOOD FLOOR AND SEAL SMOKE TIGHT.
- 15. INFILL EXIST. WALL AT REMOVED DUCTWORK. PATCH AND REPAIR TO MATCH ADJACENT FINISHES AND PREPARE AND PAINT WALL.
- 16. INFILL CEILING GRID SYSTEM FLUSH WITH ADJACENT CEILING GRID. PATCH AND REPAIR AS REQUIRED.
- 17. INFILL WOOD RAILING POST AT REMOVED DUCTWORK. MATCH EXIST. RAIL POST PROFILE AND PAINT TO MATCH ADJACENT POSTS.
- 18. ENCLOSE NEW DUCTWORK PER MECHANICAL. INSTALL WALL FURRING AT 16" O.C. WITH GYP. BOARD FULL HEIGHT. CAULK PERIMETER AND PAINT GYP. BD. TO MATCH ADJACENT WALLS.
- 19. NEW DUCTWORK PER MECHANICAL. MOUNT DUCTWORK FLUSH WITH EXIST. WALL. MODIFY EXIST. FLOOR DECK AS REQUIRED.
- 20. NEW CEILING GRILLES PER MECHANICAL. MODIFY CEILING GRID, SALVAGE CEILING TILE FOR REUSE.
- 21. NEW HVAC UNIT AND RELATED DUCTWORK PER MECHANICAL. REWORK EXIST. STRIP LIGHT LOCATION TO ROUTE NEW DUCTWORK TIGHT TO EXIST. GYP. BOARD CEILING.
- 22. NEW CONDENSING UNITS PER MECHANICAL. SECURE UNITS TO ADJACENT BUILDING WITH BRACKETS TO WITHSTAND HURRICANE WINDS.
- 23. NEW UPPER INSULATED GLASS PANEL. INSTALLED IN EXIS. ALUM. WINDOW FRAME. INFILL TOP GLASS WINDOW PANEL PER OPENING SCHEDULE. SEAL GLAZING PANEL WEATHERTIGHT.
- 24. INSTALL NEW SUSPENDED CEILING SYSTEM IN CLOSET, TURN GRID SYSTEM VERTICAL TO CEILING ABOVE AT ± 2'-0" FROM DOOR TRANSOM PANEL (APPROX. 1/4" BELOW EXIST. GYP. CEILING). VERIFY DEPTH AND WIDTH WITH ARCHITECT.
- 25. NEW CEILING HVAC SYSTEM PER MECHANICAL. MOUNT UNIT FLUSH WITH NEW CEILING GRID.
- 26. NEW LIGHT FIXTURE PER ELECTRICAL IN NEW SUSPENDED CEILING GRID SYSTEM.
- 27. NEW UPPER INSULATED METAL PANEL AT TOP WINDOW SECTION. INFILL PANEL IN EXIST. ALUM. FRAME AND SEAL PANEL WEATHERTIGHT.
- 28. NEW WALL LOUVER IN NEW MASONRY OPENING MODIFICATION. NEW PERIMETER TRIM AND FORMED BRAKE METAL FLASHING TO MATCH EXISTING OPENINGS. SEAL PERIMETER OF LOUVER IN OPENING WEATHERTIGHT (HURRICANE RATED LOUVER).
- 29. PREPARE AND PAINT NEW EXPOSED MECHANICAL PIPING TO MATCH ADJACENT WALL COLOR.



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FOR THE CITY OF GRETNA

740 SECOND STREET

DATE: 3-22-2024
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REVISIONS:

A-1
SHEET 3 of 14

OPENING SCHEDULE

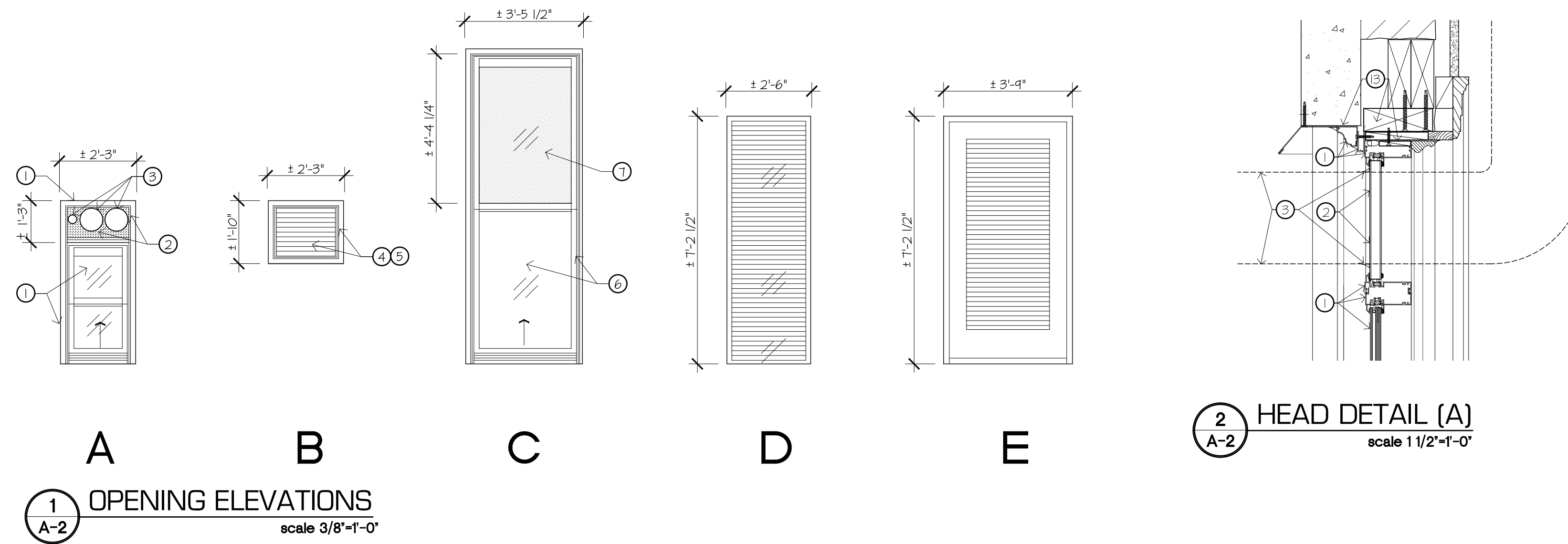
MARK	WINDOW SIZE	WINDOW DESCRIPTION	FRAME SIZE	GLASS TYPE	DETAIL			NOTES
					HEAD	SILL	JAMB	
A	2'-3" x 1'-3"	EXIST. HURRICANE IMPACT RESISTANT SINGLE HUNG INSULATED WINDOW W/ NEW HURRICANE IMPACT RESISTANT TOP INSULATED ALUMINUM TRANSOM PANEL (CUSTOM COLOR TO MATCH EXIST. WINDOW)	EXIST. 4"	INSTALL 1" INSULATED ALUM. TRANSOM PANEL UNIT INTO EXIST. TRANSOM FRAME	2 A-2	2 A-2	2 A-2 Sm.	① ② ③ ④
B	2'-3" x 1'-10"	NEW HURRICANE IMPACT RESISTANT FRAMED LOUVER WINDOW (CUSTOM COLOR TO MATCH EXIST. WINDOWS)	NEW 4"	INSTALL FULL FRAMED LOUVER WITH PERIMETER TRIMS AT NEW OPENING, SEE MECH.	2 A-2 Sm.		2 A-2 Sm.	④ ⑤ ⑥
C	3'-5 1/2" x 4'-4-1/4"	EXIST. HURRICANE IMPACT RESISTANT SINGLE HUNG INSULATED WINDOW W/ NEW HURRICANE IMPACT RESISTANT UPPER INSULATED GLASS PANEL TO MATCH LOWER GLASS PANEL	EXIST. 4"	INSTALL CLEAR 1" INSULATED GLASS UNIT INTO EXIST. ALUM. WINDOW FRAME				⑥ ⑦
D	2'-6" x 7'-2 1/2"	EXIST. METAL LOUVER WINDOW W/ NEW INTERIOR CLOSURE PANEL (FULL HEIGHT AND WIDTH)	EXIST. 4"	INSTALL FULL HEIGHT SHEET METAL CLOSURE AT INTERIOR SIDE AT EXIST. OPENING				⑧ ⑨
E	3'-4" x 7'-2 1/2"	EXIST. HOLLOW METAL LOUVERED DOOR W/ NEW INTERIOR CLOSURE PANEL AT LOUVER	EXIST. 4"	INSTALL SHEET METAL CLOSURE AT INTERIOR SIDE AT EXIST. LOUVER OPENING				⑩ ⑪

OPENING NOTES:

- EXIST. ALUM. PERIMETER FRAME & SNAP ON TRIM (1-3/4" SHAPE) / FORMED BRAKE METAL FLASHING (1/2" x 1-3/4" HEAD WITH 2-1/4" AT JAMBS) WITH NEW INSULATED ALUMINUM METAL TRANSOM PANEL (CUSTOM BUILT TO FIT AROUND NEW CHILLER PIPE/CONDUIT) ABOVE EXIST. ALUMINUM HUNG WINDOW.
- NEW 1" THK. INSULATED PANEL - SMOOTH ALUM. SKIN, PAINTED W/ 70% KYNAR W/ FINISH (CUSTOM COLOR) TO MATCH EXIST. WINDOW FRAME, 2LB DENSITY POLYISOCYANURATE W/ TEMPERED HARDBOARD STABILIZERS ON BOTH SIDES AND SMOOTH ALUM. SKIN - PAINTED W/ 70% KYNAR W/ FINISH TO MATCH WINDOW FRAME. SECURE IN PLACE WITH NEW SEALANT AND GASKETING.
- NEW CHILLER & CONDUIT LINES THROUGH EXIST. UPPER WINDOW OPENING PANEL. INSTALL CONTINUOUS SEALANT TO SEAL WEATHERTIGHT.
- NEW ALUMINUM FRAMED LOUVER OPENING IN BRICK TO MATCHING EXIST. WINDOW TYPE AND PROFILE WITH NEW ALUM. PERIMETER SNAP ON TRIM AND FORMED BRAKE METAL FLASHING (3 SIDES), ALUM. SILL FLASHING AND ALL IN CUSTOM COLOR TO MATCH EXIST. OPENINGS.
- CUSTOM COLOR FOR LOUVERS (ALL COMPONENTS) TO MATCH EXIST. HUNG WINDOW COLOR (LINETEC CUSTOM COLOR BONE L1413486 70%).
- EXIST. ALUMINUM HUNG WINDOW, INSTALL NEW INSULATED GLASS IN TOP PANEL TO MATCH LOWER GLAZED PANEL.
- NEW INSULATED GLASS - INTERIOR 2 LAYERS OF 1/8" CLEAR HEAT-STRENGTHENED GLASS W/ 0.090" PVB INTERLAYER (CLEAR SAFLEX) AND EXTERIOR 1/4" CLEAR HEAT-STRENGTHENED GLASS.
- CLEAN, PREPARE AND PAINT EXIST. METAL OPENING INCLUDING HOLLOW METAL FRAME AND LOUVERS TO MATCH CUSTOM COLOR OF EXIST. ALUMINUM WINDOW FRAMES.
- ENCLOSE INTERIOR SIDE OF EXIST. LOUVER OPENING WITH SHEET METAL CAP, PREP. AND PAINT SHEET METAL CAP AND EXIST. METAL FRAME.
- CLEAN, PREPARE AND PAINT EXIST. METAL OPENING INCLUDING HOLLOW METAL FRAME, METAL DOOR AND LOUVER PANEL TO MATCH CUSTOM COLOR OF EXIST. ALUMINUM WINDOW FRAMES.
- ENCLOSE INTERIOR SIDE OF EXIST. LOUVER DOOR PANEL WITH SHEET METAL CAP, PREP. AND PAINT SHEET METAL CAP, INTERIOR DOOR AND EXIST. METAL FRAME.
- PERIMETER 2x BLOCKING AND PERIMETER SELF-ADHERING WATERPROOFING MEMBRANE.

GENERAL NOTES:

- CONTRACTOR TO VERIFY EXIST. WALL ASSEMBLY WIDTH TO ASSURE PROPER FIT OF BLOCKING, WATERPROOFING AND NEW OPENING FRAME PRIOR TO FRAME FABRICATION.
- CONTRACTOR TO VERIFY DIMENSIONS OF NEWLY BUILT OPENINGS PRIOR TO FABRICATION AND INSTALLING OF NEW OPENINGS.
- NEW OPENING FRAMES SHALL HAVE AN EXTERIOR APPLIED 2-PIECE DECORATIVE PROFILE TRIM AT HEAD AND JAMBS TO MATCH EXISTING OPENINGS TRIM.
- NEW OPENING FRAMES SHALL BE FINISHED ON INTERIOR SIDE HEAD AND JAMB WITH PAINTED PLASTER.
- NEW OPENING FRAMES AND COMPONENTS SHALL HAVE A CUSTOM COLOR TO MATCH THE EXIST. EXTERIOR ALUMINUM FRAME AND TRIM COLOR.
- AT EXIST. FRAMES BEING MODIFIED, CONTRACTOR TO REMOVE AND REINSTALL ANY EXTERIOR TRIMS OR INTERIOR CLIPS AND ACCESSORIES AS REQUIRED TO INSTALL NEW WORK.



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GRETNA, LA 70053

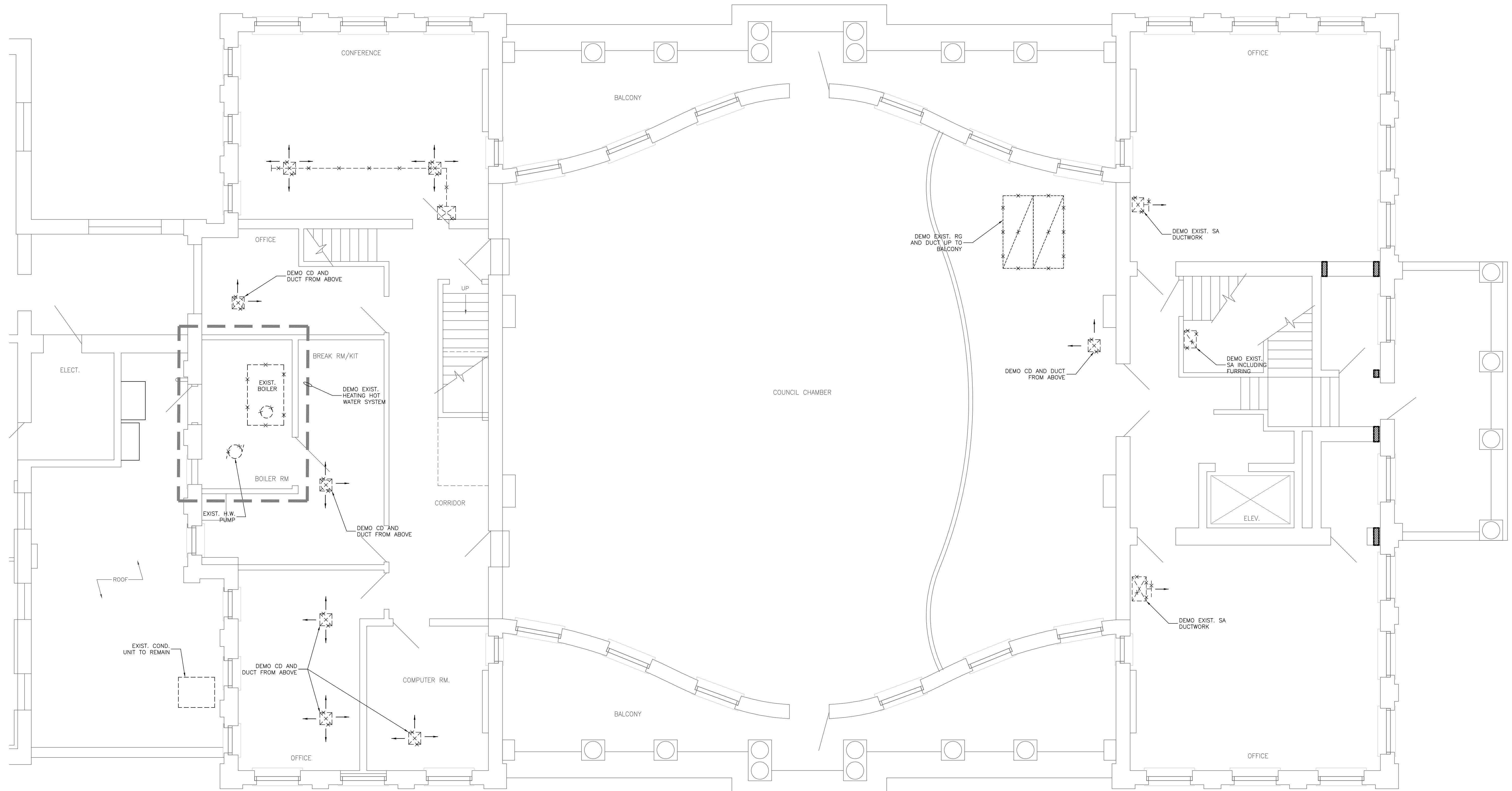
HVAC UPGRADES
GRETNA CITY HALL
FOR THE CITY OF GRETNA

740 SECOND STREET

DATE: 3-22-2024
DRAWN BY:
REVISIONS:

A-2

SHEET 4 of 14



**MECHANICAL DEMOLITION
SECOND FLOOR PLAN**
SCALE : 1/4" = 1'-0"

DEMOLITION REQUIREMENTS:

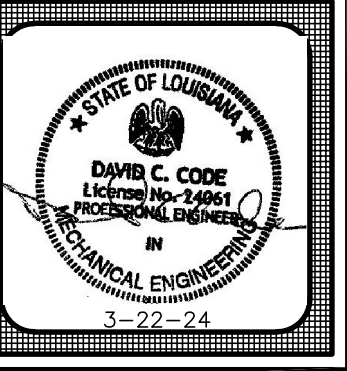
- 1 THE INTENT IS TO INSTALL NEW MINI-SPLIT SYSTEMS PRIOR TO ANY DEMOLITION WORK WHICH WOULD AFFECT EXISTING HVAC TO ANY OCCUPIED SPACE.
- 2 THERE IS A COMPUTER ROOM ON THE SECOND FLOOR. COORDINATE FULLY WITH THE OWNER AND PROTECT COMPUTER EQUIPMENT THROUGHOUT THE CONSTRUCTION PERIOD.
- 3 DEMO THE EXISTING 4-PIPE MULTI-ZONE AIR HANDLING UNIT LOCATED ON THE THIRD FLOOR COUNCIL CHAMBER BALCONY. THE EXISTING UNIT SERVES THE COUNCIL CHAMBERS AND OFFICE AREAS ON THE SECOND AND THIRD FLOOR. NO PORTION OF THAT SYSTEM WILL BE REUSED EXCEPT FOR THE EXISTING ROOF MOUNTED AIR COOLED CHILLER.
DEMO ASSOCIATED DUCTWORK, PIPING, CONTROLS, ACCESSORIES AND APPURTENANCES.
DEMO EXISTING CHILLED WATER PIPING IN THE BUILDING INCLUDING PIPING TO THE EXISTING ROOF MOUNTED AIR COOLED CHILLER. DEMOLITION SHALL INCLUDE CHILLED WATER PUMPS, COMPRESSION TANK, SYSTEM FILL STATION, HANGERS, & ACCESSORIES. DEMOLITION SHALL ALSO INCLUDE CHILLED WATER OR CHILLED/HOT WATER PIPING WHICH IS ABANDONED IN PLACE.
- 4 DEMO THE EXISTING HEATING HOT WATER SYSTEM. NO PORTION OF THE HEATING HOT WATER SYSTEM WILL BE REUSED.
DEMO BOILER, HOT WATER PUMP, HOT WATER SYSTEM COMPRESSION TANK, FILL STATION, GAS VENT, ASSOCIATED PIPING, HANGERS & ACCESSORIES.
DEMO EXISTING HEATING HOT WATER PIPING IN THE BUILDING INCLUDING HEATING HOT WATER PIPING WHICH IS ABANDONED IN PLACE.
- 5 DEMO THE EXISTING MINI-SPLIT SYSTEM WHICH SERVES THE SECOND FLOOR OFFICE ON THE FRONT SOUTH-WEST CORNER OF THE BUILDING. THE SYSTEM INCLUDES A HIGH SIDEWALL INDOOR UNIT MATCHED WITH AN OUTDOOR CONDENSING UNIT.

THESE PLANS HAVE BEEN PREPARED UNDER MY CLOSE PERSONAL SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH CITY PARISH REQUIREMENTS. I AM NOT GENERALLY ADMINISTERING THE WORK, BUT NOT TO THE EXTENT THAT WILL ELIMINATE THE NEED FOR CITY PARISH INSPECTIONS.

GVA ENGINEERING, L.L.C.
PROJECT No. 4261

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GVA PROJECT No.	4261
CAD FILE	AC-2nd_FL-PLN
LAST REVISION	02-13-23
PLOT DATE	02-13-23
PLOT SCALE	1=1

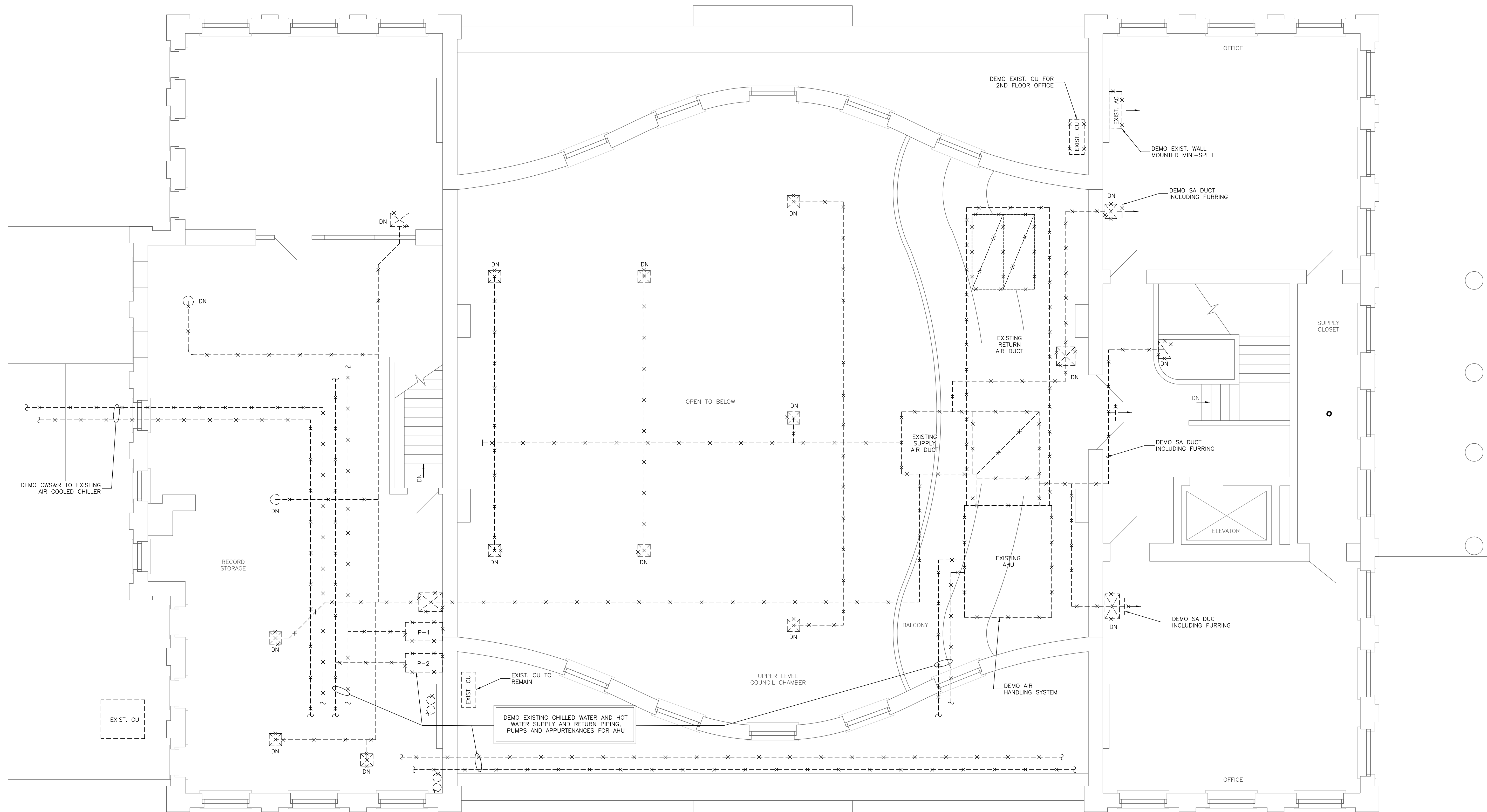


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HVAC UPGRADES
GRETNA CITY HALL
2nd STREET & HUEY P. LONG AVE.
GRETNA, LA 70053

DATE: 3-22-24
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MECHANICAL DEMOLITION
THIRD FLOOR PLAN
 SCALE : 1/4" = 1'-0"

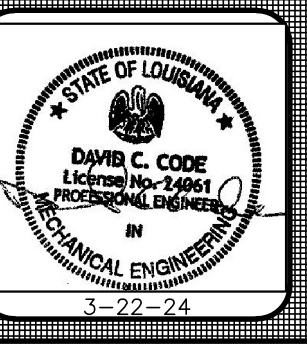
DEMOLITION REQUIREMENTS:

- 1 THE INTENT IS TO INSTALL NEW MINI-SPLIT SYSTEMS PRIOR TO ANY DEMOLITION WORK WHICH WOULD AFFECT EXISTING HVAC TO ANY OCCUPIED SPACE.
- 2 THERE IS A COMPUTER ROOM ON THE SECOND FLOOR. COORDINATE FULLY WITH THE OWNER AND PROTECT COMPUTER EQUIPMENT THROUGHOUT THE CONSTRUCTION PERIOD.
- 3 DEMO THE EXISTING 4-PIPE MULTI-ZONE AIR HANDLING UNIT LOCATED ON THE THIRD FLOOR COUNCIL CHAMBER BALCONY. THE EXISTING UNIT SERVES THE COUNCIL CHAMBERS AND OFFICE AREAS ON THE SECOND AND THIRD FLOOR. NO PORTION OF THAT SYSTEM WILL BE REUSED EXCEPT FOR THE EXISTING ROOF MOUNTED AIR COOLED CHILLER.
 DEMO ASSOCIATED DUCTWORK, PIPING, CONTROLS, ACCESSORIES AND APPURTENANCES.
 DEMO EXISTING CHILLED WATER PIPING IN THE BUILDING INCLUDING PIPING TO THE EXISTING ROOF MOUNTED AIR COOLED CHILLER. DEMOLITION SHALL INCLUDE CHILLED WATER PUMPS, COMPRESSION TANK, SYSTEM FILL STATION, HANGERS, & ACCESSORIES. DEMOLITION SHALL ALSO INCLUDE CHILLED WATER OR CHILLED/HOT WATER PIPING WHICH IS ABANDONED IN PLACE.
- 4 DEMO THE EXISTING HEATING HOT WATER SYSTEM. NO PORTION OF THE HEATING HOT WATER SYSTEM WILL BE REUSED.
 DEMO BOILER, HOT WATER PUMP, HOT WATER SYSTEM COMPRESSION TANK, FILL STATION, GAS VENT, ASSOCIATED PIPING, HANGERS & ACCESSORIES.
 DEMO EXISTING HEATING HOT WATER PIPING IN THE BUILDING INCLUDING HEATING HOT WATER PIPING WHICH IS ABANDONED IN PLACE.
- 5 DEMO THE EXISTING MINI-SPLIT SYSTEM WHICH SERVES THE SECOND FLOOR OFFICE ON THE FRONT SOUTH-WEST CORNER OF THE BUILDING. THE SYSTEM INCLUDES A HIGH SIDEWALL INDOOR UNIT MATCHED WITH AN OUTDOOR CONDENSING UNIT.

GVA ENGINEERING, L.L.C.
 PROJECT No. 4261

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GVA PROJECT No.
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 PLOT DATE
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 PLOT SCALE
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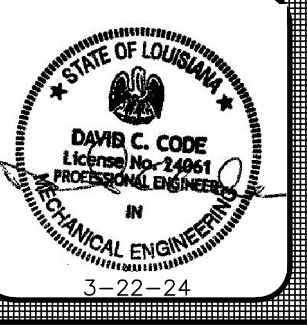


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HVAC UPGRADES
GRETNA CITY HALL
 2nd STREET & HUEY P. LONG AVE. GRETNA, LA 70053

DATE: 3-22-24
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HVAC UPGRADES
GRETNA CITY HALL

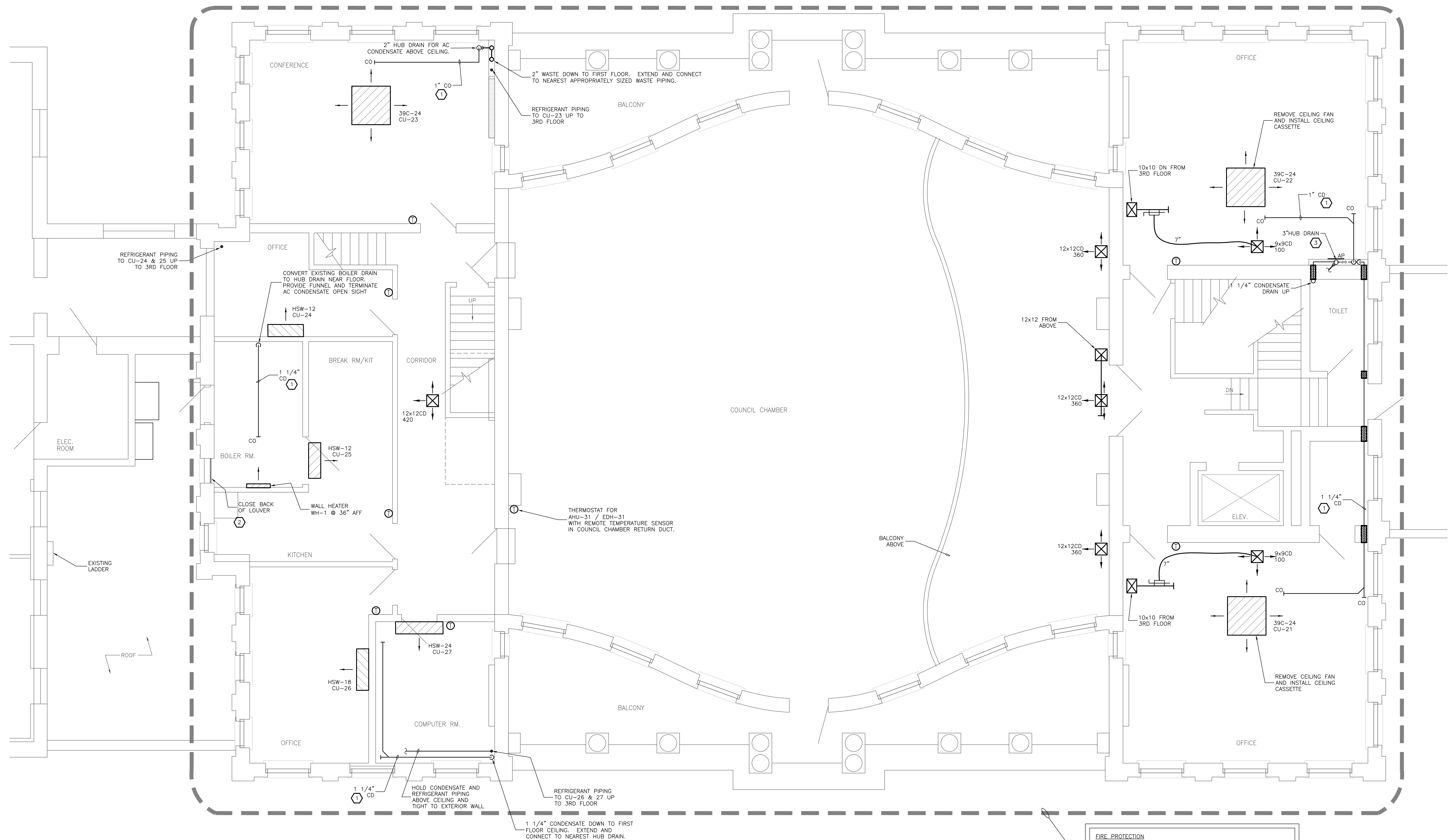
2nd STREET & HUEY P. LONG AVE.

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PROJECT No. 4261

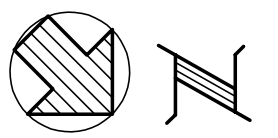


SPECIFIC NOTES:

- 1 PROVIDE SLOPED AC CONDENSATE DRAIN MAIN TO RECEIVE CONDENSATE FROM NEARBY DUCTLESS UNITS. PROVIDE DUCTLESS UNITS WITH AN INTERNAL CONDENSATE PUMP. EXTEND 3/4" DRAIN FROM THE CONDENSATE PUMP DISCHARGE INTO THE TOP OF THE SLOPED CONDENSATE MAIN. THE INTEND IS TO USE THE LIFT FROM EACH CONDENSATE PUMP TO LIFT THE CONDENSATE TO THEN GRAVITY DRAIN.
- 2 CLOSE INTERIOR SIDE OF EXISTING LOUVER WITH GALVANIZED SHEETMETAL AND INSULATE WITH 2" DUCTBOARD WITH ALL SERVICE JACKET.
- 3 3" HUB DRAIN FOR AC CONDENSATE. EXTEND AND CONNECT TO EXISTING PLUMBING AT ADJACENT RESTROOM. REMOVE BRICKS IN WALL TO ACCOMMODATE WORK. INSTALL HUB DRAIN, IN WALL FURR OUT, 18" ABOVE FINISHED FLOOR WITH 16"x16" ACCESS PANEL.

**MECHANICAL RENOVATION
SECOND FLOOR PLAN**

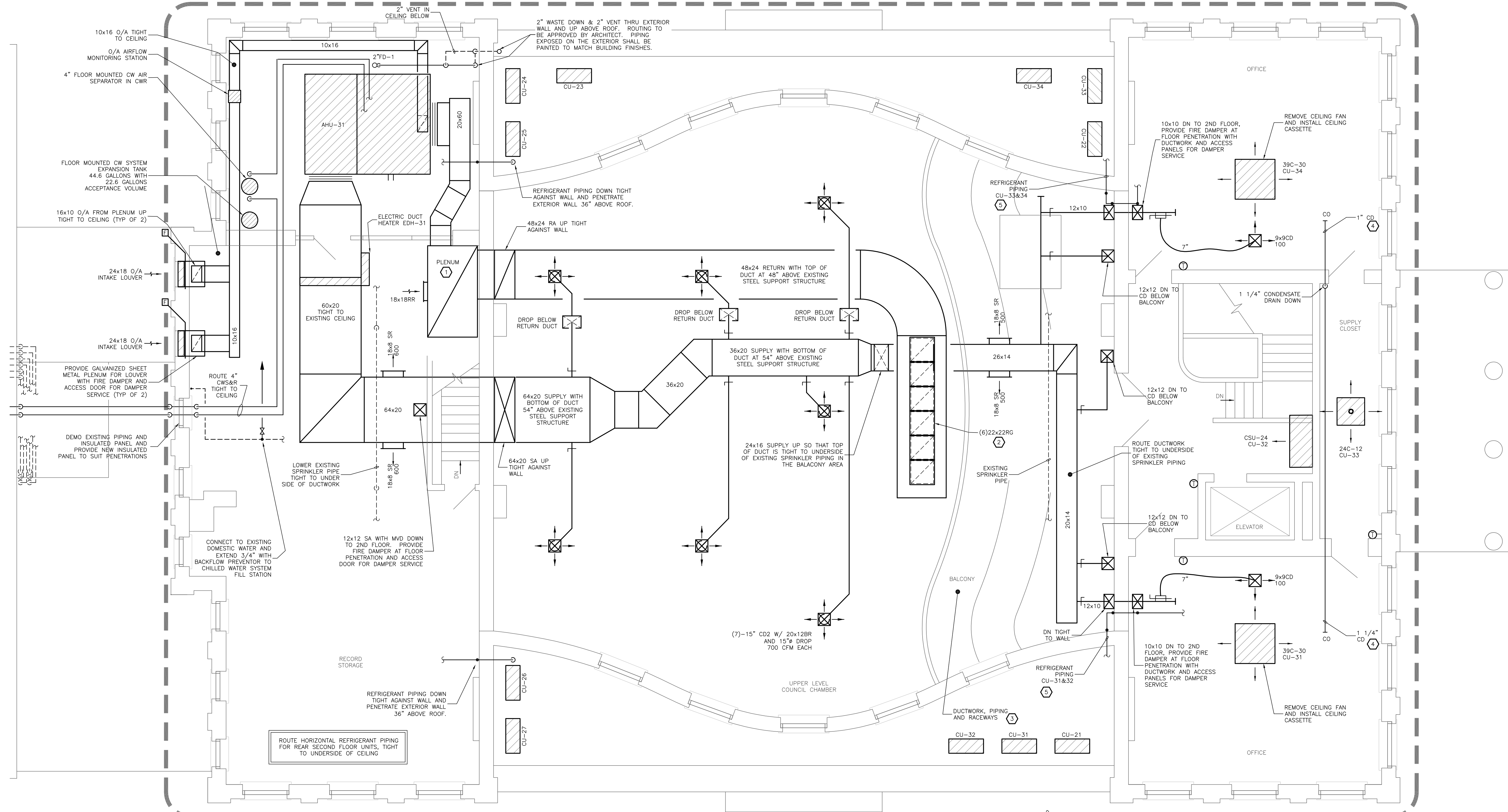
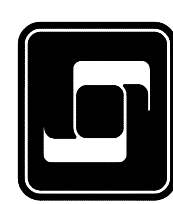
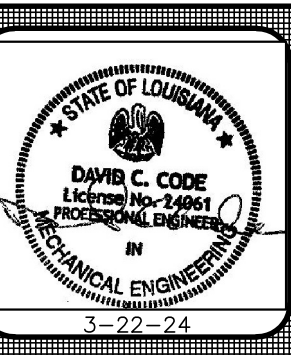
SCALE : 1/4" = 1'-0"



FIRE PROTECTION
REWORK EXISTING WET PIPE SPRINKLER SYSTEM TO ACCOMMODATE NEW WORK OF ALL TRADES AND TO PROVIDE A COMPLETE COVERAGE SYSTEM FOR THE BUILDING. THE SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH NFPA 13 REQUIREMENTS FOR THE OCCUPANCY OF THE BUILDING. MATERIALS AND SPRINKLER HEADS SHALL MATCH EXISTING.

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GVA PROJECT No.	4261
CAD FILE	AC-3rd_FL-PLN
LAST REVISION	02-14-23
PLOT DATE	02-14-23
PLOT SCALE	1=1



**MECHANICAL RENOVATION
THIRD FLOOR PLAN**

SCALE : 1/4" = 1'-0"

SPECIFIC NOTES:

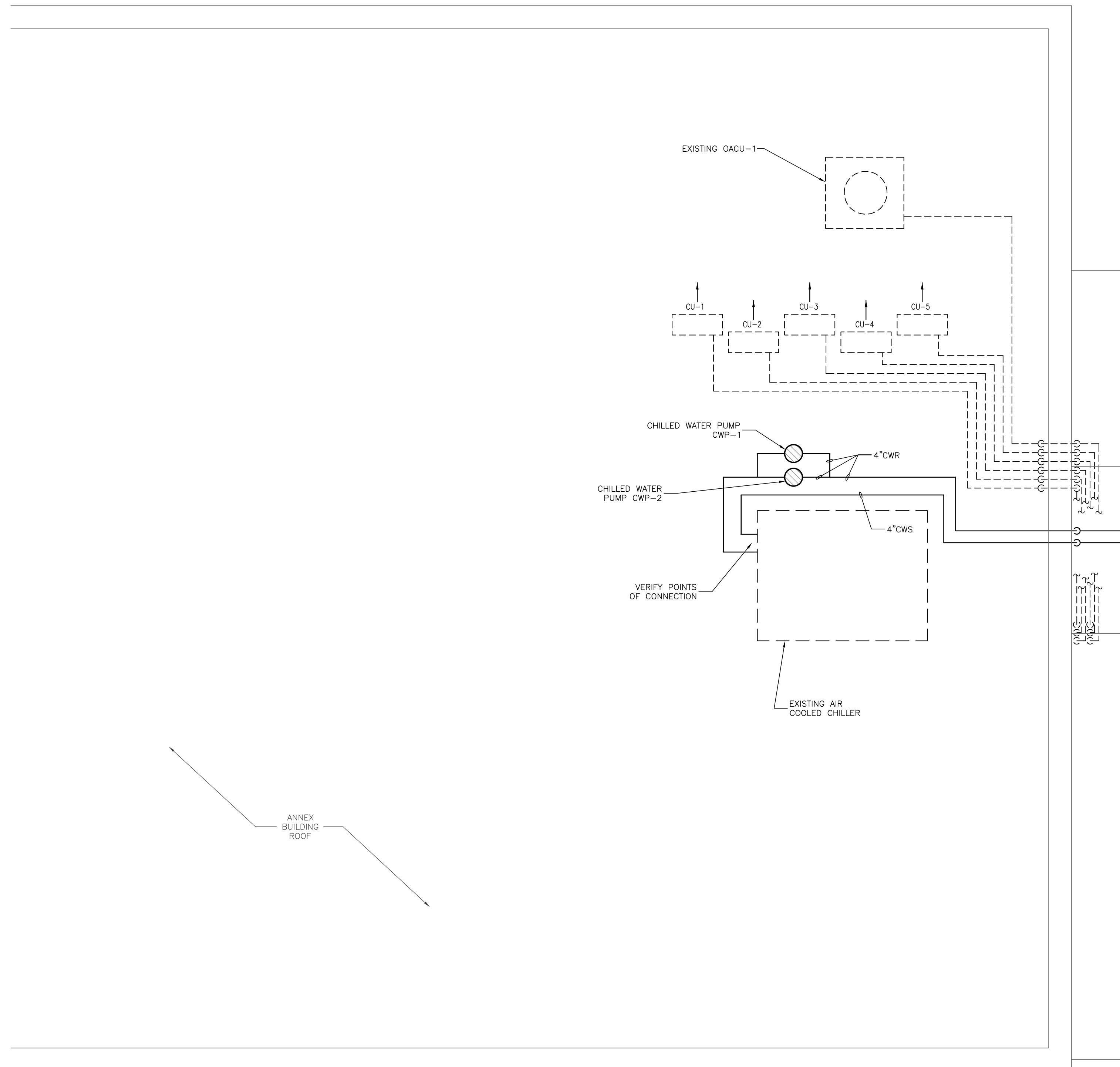
- 1 PROVIDE RUSKIN 2" DOUBLE WALL RETURN AIR PLENUM EXTENDING FROM FLOOR TO CEILING AND APPROXIMATELY 52"x108". FIELD VERIFY DIMENSIONS TO SUIT FIELD CONDITIONS AND DUCT CONNECTIONS BEFORE FABRICATION. PLENUM SHALL BE GALVANIZED CONSTRUCTION WITH 2" SOUND INSULATION AND PERFORATED INTERNAL LINER. PLENUM SHALL BE CONSTRUCTED FOR -2" STATIC. PROVIDE REMOVABLE ACCESS PANEL FOR ENTRY TO SUIT DUCT CONNECTIONS.
 - 2 PROVIDE A SERIES OF LAY-IN STYLE RETURN GRILLES AS SHOWN. PROVIDE RETURN AIR PLENUM FOR GRILLES AND CONNECT TO RETURN AIR DUCTWORK ABOVE.
 - 3 THE OWNER INTENDS TO RENOVATE THE BALCONY AREA AT SOME FUTURE DATE. ROUTE HORIZONTAL DUCTWORK, PIPING & RACEWAYS WITHIN THE BALCONY AREA NO LOWER THAN TIGHT TO THE UNDERSIDE OF THE EXISTING SPRINKLER PIPING SHOWN. HOLD VERTICAL DUCTWORK, PIPING & RACEWAYS IN THE BALCONY AREA TIGHT TO WALLS TO ALLOW FOR FUTURE WALL FURRING TO CONCEAL SAME.
 - 4 PROVIDE SLOPED AC CONDENSATE DRAIN MAIN TO RECEIVE CONDENSATE FROM NEARBY DUCTLESS UNITS. PROVIDE DUCTLESS UNITS WITH AN INTERNAL CONDENSATE PUMP. EXTEND 3/4" DRAIN FROM THE CONDENSATE PUMP DISCHARGE INTO THE TOP OF THE SLOPED CONDENSATE MAIN. THE INTEND IS TO USE THE LIFT FROM EACH CONDENSATE PUMP TO LIFT THE CONDENSATE TO THEN GRAVITY DRAIN.
 - 5 FIELD ESTABLISH ROUTING OF REFRIGERANT PIPING. PIPING SHALL BE CONCEALED ABOVE CEILINGS AND IN WALLS.
- PIPING FOR UNITS IN THE FRONT OF THE BUILDING ON THE THIRD FLOOR SHALL BE CONCEALED ABOVE CEILINGS AND ROUTED TO THE BALCONY AREA. PIPING SHALL RISE TIGHT AGAINST THE INTERIOR WALL OF BALCONY, SHALL BE ROUTED HIGH OVERHEAD AND SHALL BE ROUTED DOWN TIGHT AGAINST THE EXTERIOR WALL TO PENETRATE THE WALL APPROXIMATELY 36" ABOVE THE ROOF AND EXTEND TO THE RESPECTIVE CONDENSING UNIT.
- PIPING FOR UNITS IN THE FRONT OF THE BUILDING ON THE SECOND FLOOR SHALL BE CONCEALED ABOVE CEILINGS AND ROUTED TO THE THIRD FLOOR WITHIN THE FURRING FOR OUTSIDE AIR DUCTWORK AND THEN SHALL FOLLOW THE ROUTE DESCRIBED FOR THE THIRD FLOOR

FIRE PROTECTION
REWORK EXISTING WET PIPE SPRINKLER SYSTEM TO ACCOMMODATE NEW WORK OF ALL TRADES AND TO PROVIDE A COMPLETE COVERAGE SYSTEM FOR THE BUILDING. THE SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH NFPA 13 REQUIREMENTS FOR THE OCCUPANCY OF THE BUILDING. MATERIALS AND SPRINKLER HEADS SHALL MATCH EXISTING.

PROVIDE FIBERGLASS PADS SET ON ROOFING PADS (COMPATIBLE WITH THE EXISTING ROOFING SYSTEM) UNDER ROOF MOUNTED CONDENSING UNITS. SECURE CONDENSING UNITS TO VERTICAL STRUCTURE (NO ROOF CONNECTIONS OR ROOF PENETRATIONS PERMITTED) WITH FIELD BUILT GALVANIZED BRACKETS TO WITHSTAND HURRICANE WINDS.

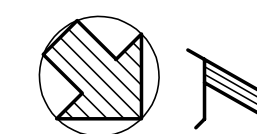
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GVA PROJECT No.	4261
CAD FILE	AC-3rd_FL-PLN
LAST REVISION	02-14-23
PLOT DATE	02-14-23
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MECHANICAL
PARTIAL ROOF FLOOR PLAN

SCALE : 1/4" = 1'-0"



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 4261
 CAD FILE
 AC-3rd FL-PLN
 LAST REVISION
 02-14-23
 PLOT DATE
 02-14-23
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GVA ENGINEERING, L.L.C.
 PROJECT No. 4261

DATE: 3-22-24
 DRAWN BY: JHV
 REVISIONS:

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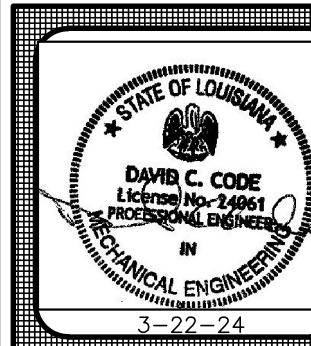
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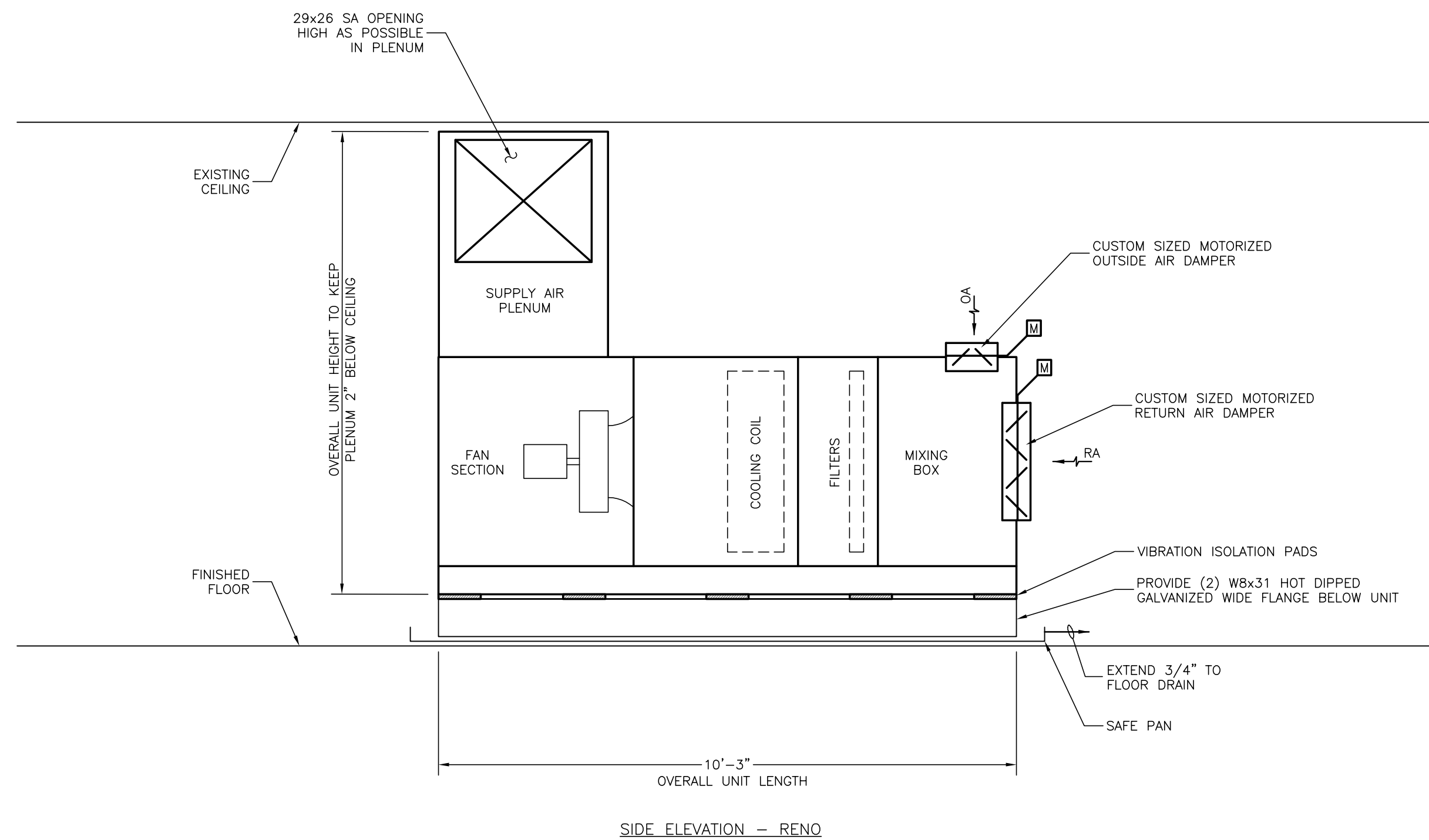
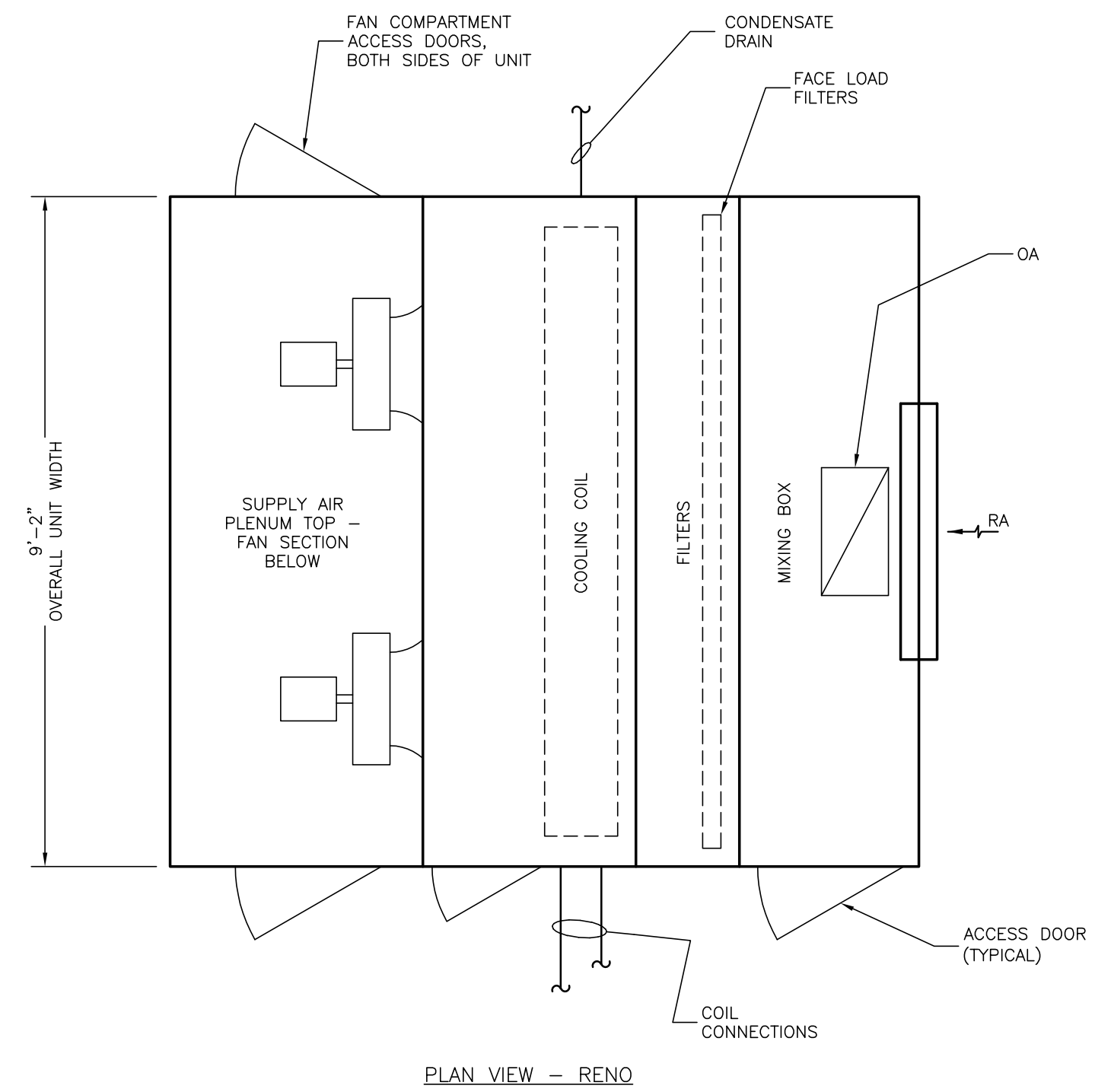
HVAC UPGRADES
GRETNA CITY HALL

2nd STREET & HUEY P. LONG AVE.

GRETNA, LA 70053

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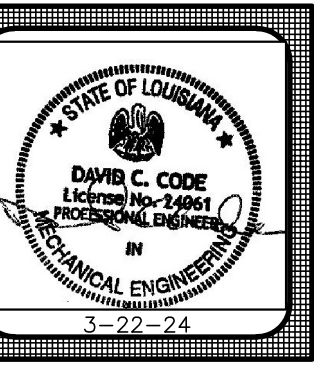
INSTALLATION SCHEMATIC
AIR HANDLING UNIT AHU-31
 NOT TO SCALE

GENERAL NOTES:

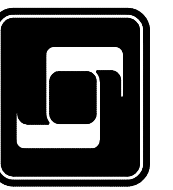
- 1 PIPING AND DUCTWORK MUST OFFSET AND TRANSITION TO SUIT FIELD CONDITIONS. THE DRAWINGS INDICATE THE DESIGN INTENT. HOWEVER, PIPING AND DUCTWORK ROUTING IS DIAGRAMMATIC. REQUIRED OFFSETS AND TRANSITIONS ARE NOT SHOWN.
- 2 DUCT AND PIPING PENETRATION THROUGH PARTITIONS SHALL BE EFFECTIVELY SEALED TO SUIT EACH TYPE OF PARTITION.
- 3 KEEP INTERIOR SURFACES OF DUCTWORK AND AIR HANDLING EQUIPMENT CLEAN THROUGHOUT THE CONSTRUCTION PERIOD. ACCESS DOORS TO AIR HANDLING UNITS SHALL NOT BE LEFT IN THE OPEN POSITION. INLET AND OUTLETS TO AIR HANDLING EQUIPMENT SHALL BE CAPPED WHEN STORED ON THE SITE AND SHALL REMAIN CAPPED UNTIL DUCTWORK IS CONNECTED.
 OPEN ENDS OF DUCTWORK SHALL BE CAPPED WHEN DUCTWORK IS STORED ON THE SITE. INTERIOR AND EXTERIOR SURFACES OF EACH DUCT SECTION SHALL BE CLEANED JUST PRIOR TO INSTALLATION.
- 4 SUPPORTS, HANGERS, BRACES, BOLTS, STRUCTURAL STEEL, AND OTHER MISCELLANEOUS ITEMS INSTALLED TO SUPPORT PIPING OR EQUIPMENT SHALL BE HOT DIPPED GALVANIZED. ALL FIELD WELDS AND ANY DAMAGE TO THE GALVANIZING SHALL BE COATED WITH TWO COATS OF COLD GALVANIZING COMPOUND.
- 5 PER THE NATIONAL ELECTRICAL CODE, DUCTWORK AND PIPING SHALL NOT BE ROUTED OVER ELECTRICAL PANELS OR OTHER ELECTRICAL EQUIPMENT. NATIONAL ELECTRICAL CODE SERVICE CLEARANCES SHALL BE MAINTAINED FOR ELECTRICAL EQUIPMENT. COORDINATE TRADES.
- 6 FIRE, FIRE/SMOKE, AND SMOKE DAMPERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND IN ACCORDANCE WITH THE DAMPER IUL LISTING. PROVIDE DUCT, WALL AND CEILING ACCESS DOORS AT EACH DAMPER FOR INSPECTION AND SERVICE WERE FIRE/SMOKE RATED DAMPERS.
- 7 PROVIDE AN INCREASER OR REDUCER TO SUIT PIPE SIZES WHERE THE DRAWINGS INDICATE CONNECTING TO EXISTING PIPING. FIELD VERIFY EXACT LOCATION, SERVICE AND SIZES PRIOR TO PERFORMING ANY WORK OR ORDERING ANY MATERIALS. USE PRESSURE GAUGES TO CONFIRM DIRECTION OF FLOW IN EXISTING PIPING SYSTEMS.
- 8 PROVIDE A TRANSITION TO SUIT DUCT SIZES WHERE THE DRAWINGS INDICATE CONNECTING TO EXISTING DUCTWORK. FIELD VERIFY EXACT LOCATION, SERVICE AND SIZES PRIOR TO PERFORMING ANY WORK OR ORDERING ANY MATERIALS. PROVIDE OFFSETS, TRANSITIONS, ETC. TO SUIT FIELD CONDITIONS.
- 9 SERVICES TO THE BUILDING ARE TO BE KEPT IN OPERATION AT ALL TIMES, EXCEPT WHEN SPECIFIC PERMISSION IS GIVEN TO DO OTHERWISE. BEFORE ANY SERVICES ARE INTERRUPTED, ARRANGEMENTS SHALL BE MADE WITH THE OWNER TO DO THIS WORK AT A TIME MOST CONVENIENT TO THEM. THIS PROCEDURE MAY INVOLVE WORKING AT NIGHT, ON SATURDAY OR SUNDAY, OR AT A SPECIAL TIME OF THE YEAR, WITH THE LENGTH OF TIME OF THE INTERRUPTION AGREED UPON IN ADVANCE. ONCE ANY SERVICE IS INTERRUPTED, WORK TO RESTORE THE SERVICE IN THE SHORTEST POSSIBLE TIME SHALL BE ON A CONTINUOUS BASIS UNLESS TEMPORARY SERVICES IS PROVIDED OR APPROVAL IS OBTAINED FROM THE OWNER TO DO OTHERWISE. TEMPORARY SERVICE SHALL BE WORK OF THIS DIVISION.
- 10 PROVIDE CAPS OR PLUGS IN ALL MANUAL DRAINS AND VENTS.
- 11 SITE-STORED ITEMS ARE TO BE PACKAGED, SEALED WEATHERTIGHT, CAPPED AND STACKED TO PREVENT DAMAGE TO THE MATERIALS.

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GVA PROJECT No.	4261
CAD FILE	AHU INSTALLS
LAST REVISION	02-14-23
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PLOT SCALE	1=1



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HVAC UPGRADES
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 GRENA, LA 70053

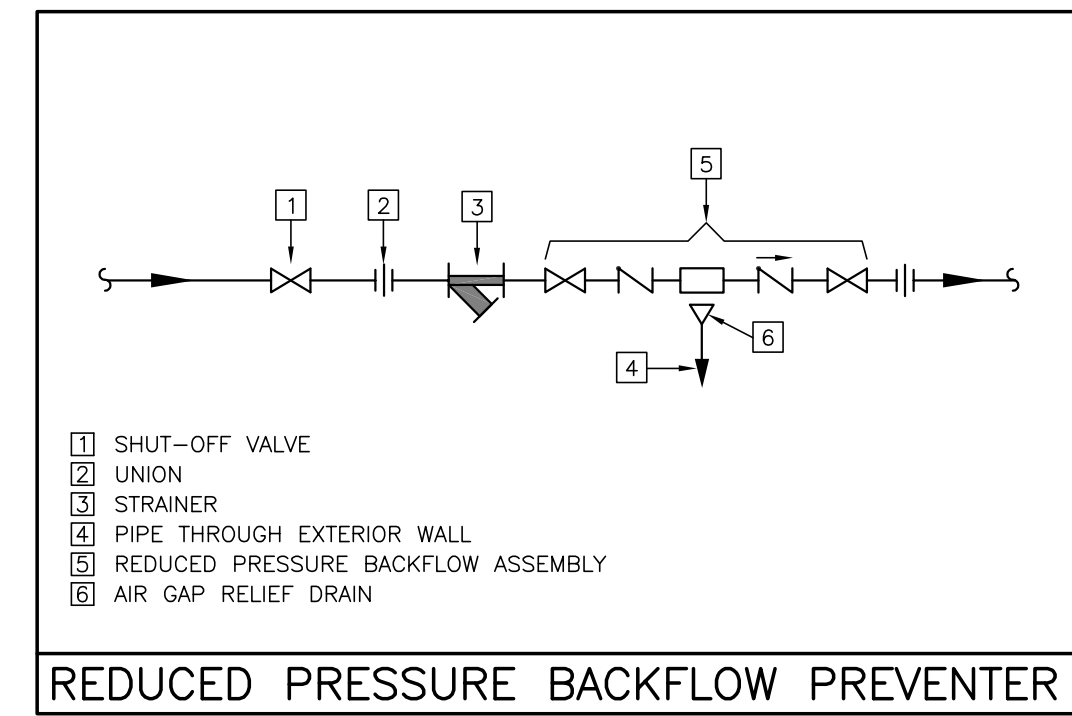
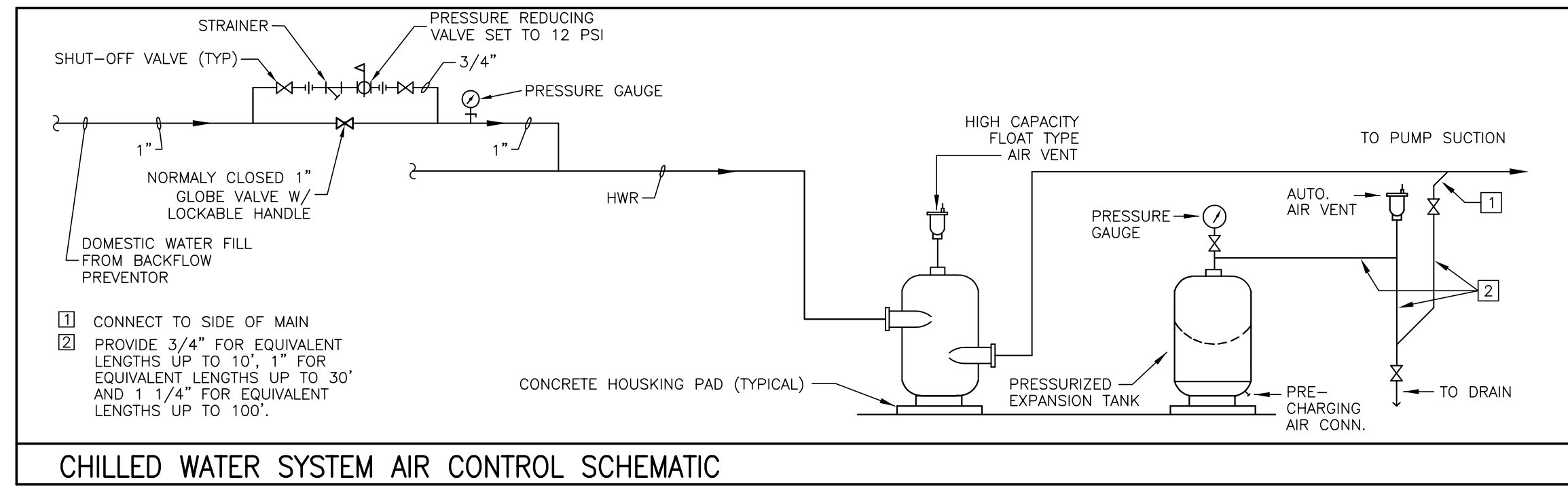
2nd STREET & HUEY P. LONG AVE.

DATE: 3-22-24
 DRAWN BY: JHV
 REVISIONS:

M-6

SHEET OF

GVA ENGINEERING, L.L.C.
 PROJECT No. 4261



MECHANICAL LEGEND

- DUCTWORK, PIPING, EQUIPMENT TO BE REMOVED
- - - DUCTWORK, PIPING, EQUIPMENT TO REMAIN (ALSO USED FOR HIDDEN LINES)
- NEW DUCTWORK, PIPING, EQUIPMENT
- ① SPECIFIC NOTE
- CWS&R CHILLED WATER SUPPLY & RETURN
- HWS&R HOT WATER SUPPLY & RETURN
- C/HWS&R CHILLED / HOT WATER SUPPLY & RETURN (2-PIPE)
- ⊗ SHUT-OFF VALVE
- ⊙ SPACE THERMOSTAT / TEMPERATURE SENSOR
- ⊕ HUMIDITY SENSOR
- ⊞ FIRE DAMPER
- RA RETURN AIR
- SA SUPPLY AIR
- OA OUTSIDE AIR
- ⊞ MOTORIZED DAMPER

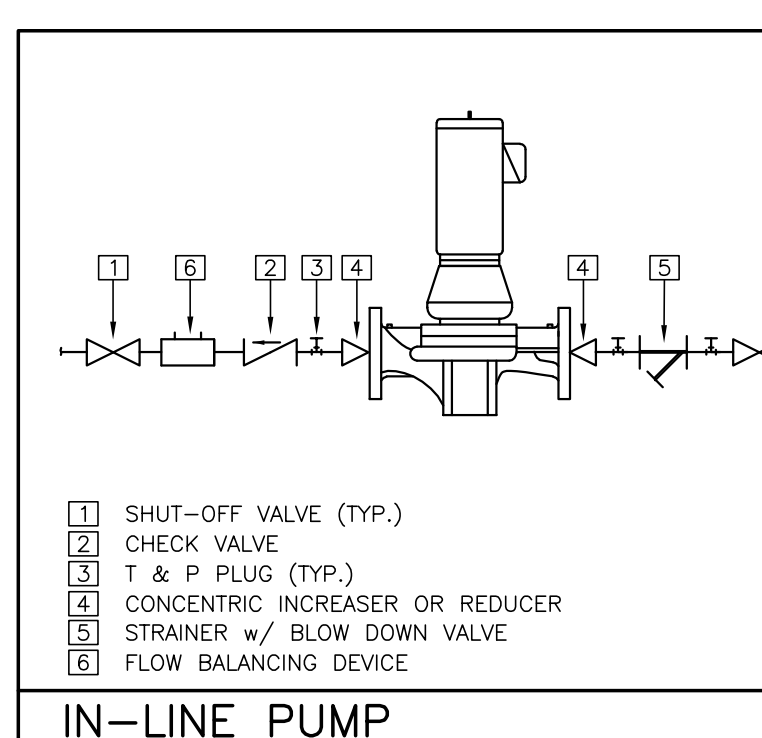
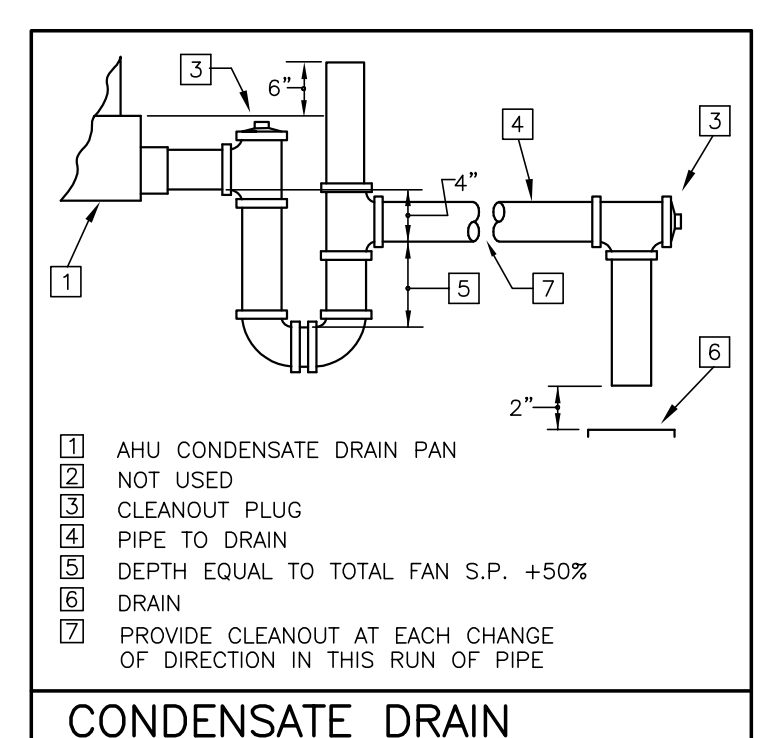
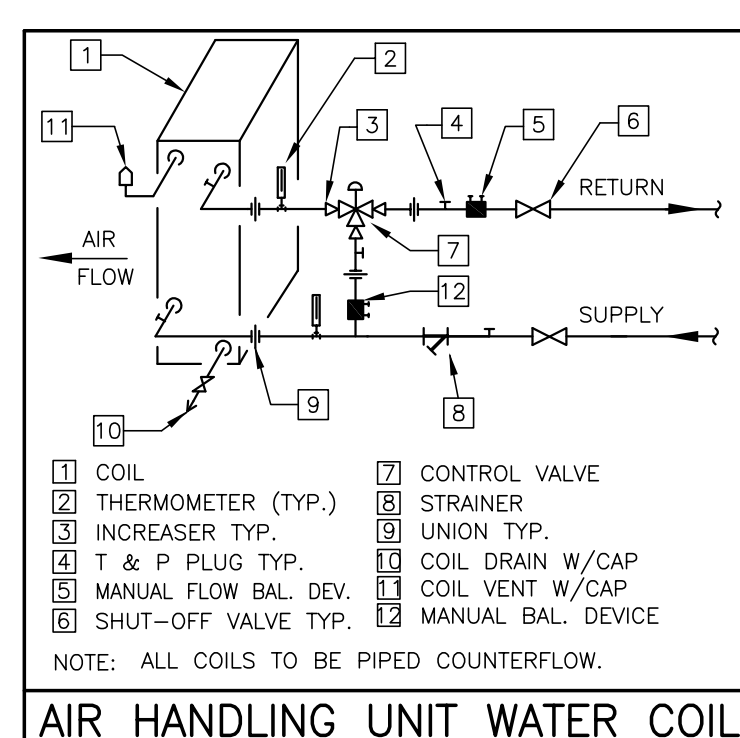
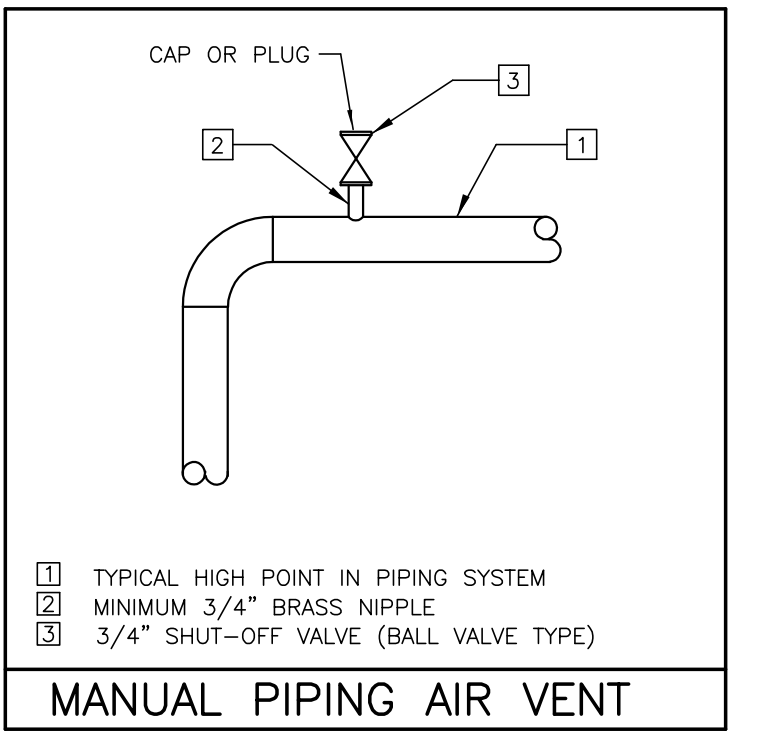
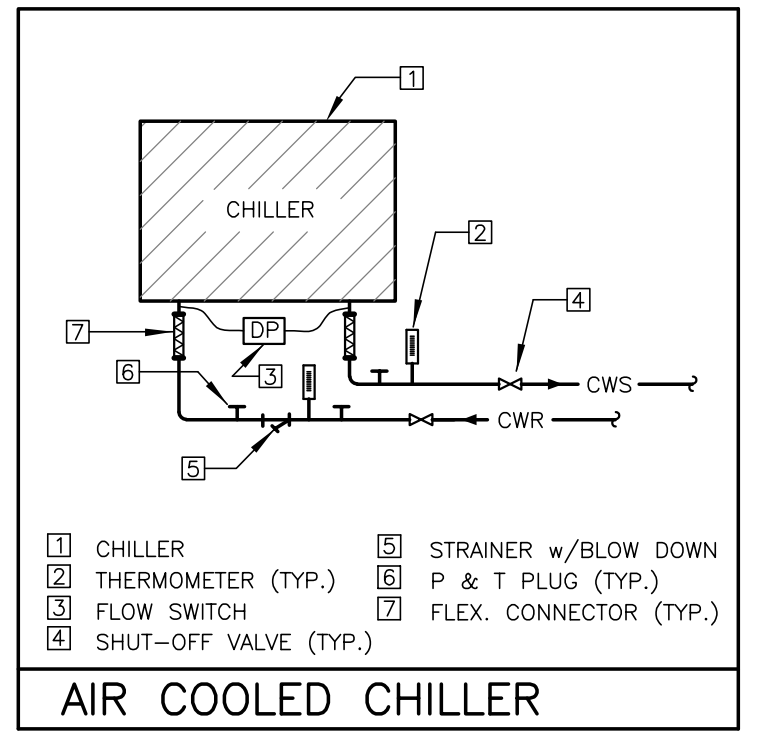
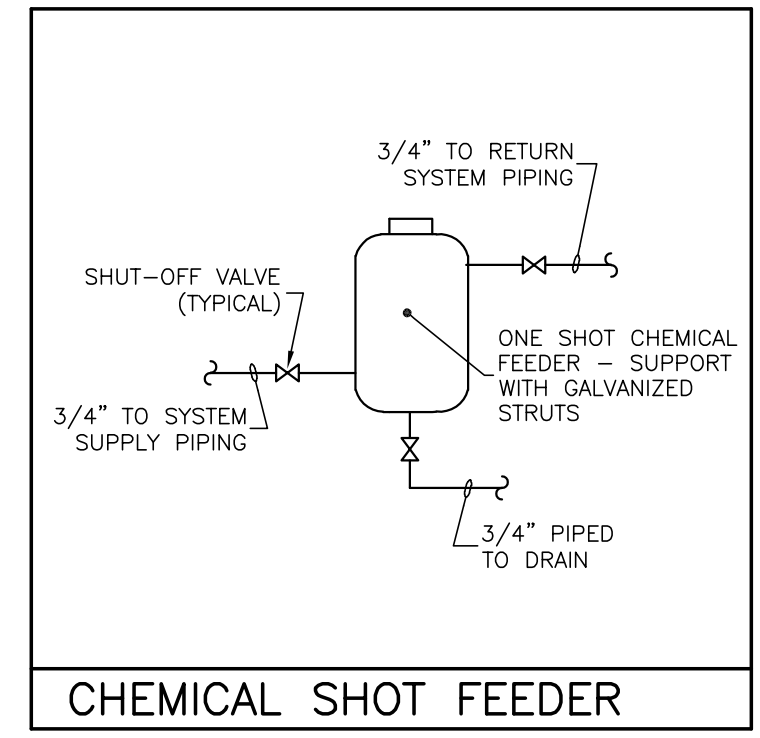
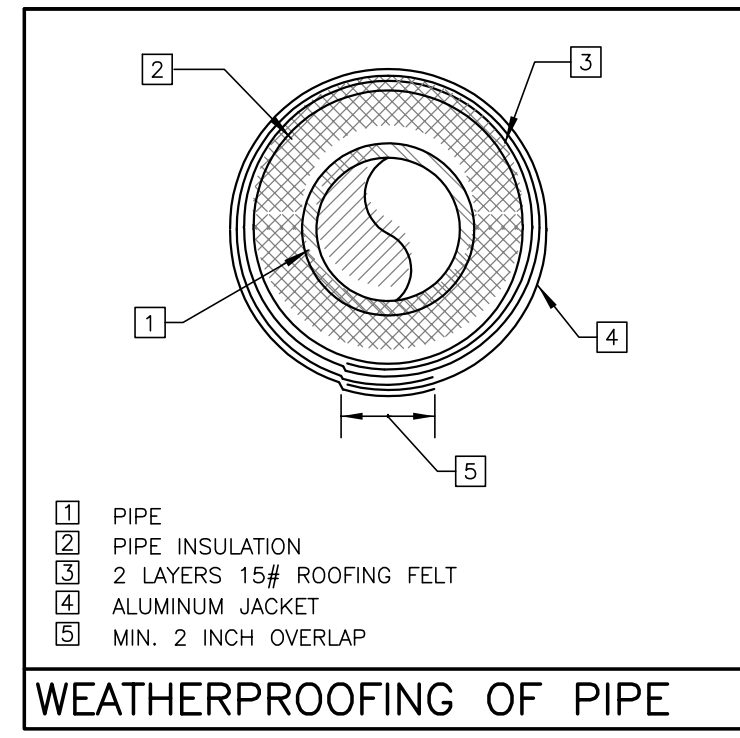
AIR HANDLING UNIT SCHEDULE

UNIT	AHU NUMBER (AHU)	AHU-31
	AREA SERVED	COUNCIL CHAMBER
	TYPE	DRAW THRU
	CONFIGURATION	HORIZONTAL
	MANUFACTURER	TEMPLOW
	MODEL NUMBER	CUSTOM
	OPERATING WEIGHT (LBS)	2000
	TOTAL CFM (MINIMUM)	9000
BLOWER	OUTSIDE AIR CFM	1000
	TOTAL STATIC PRESS (INCH WG)	3.55
	EXTERNAL STATIC PRESS (INCH WG)	1.7
	MOTOR HORSEPOWER	2 @ 5HP EACH
	VOLTAGE/PHASE	230/3
	TYPE BLOWER WHEEL	DD PLENUM
	TOTAL CAPACITY (MBH)	357
	SENSIBLE CAPACITY (MBH)	216
	ENTERING AIR DB/WB (°F)	77.3/65.0
	LEAVING AIR DB/WB (°F)	52.0/51.9
	GPM	60
	ENTERING/LEAVING WATER TEMP (°F)	45/47
	MAX COIL FACE VELOCITY (FPM)	500
	MAX AIR PRESS DROP (INCHES WG)	0.85
	MAX WATER PRESS DROP (FEET WG)	10
	MIN ROWS / MAX FINS PER INCH	8/10
	TYPE	2"
FILTERS	EFFICIENCY (%)	MERV 13
	FILTER BOX TYPE	FLAT
DAMPERS	RETURN	42x25 (REAR)
	OUTSIDE AIR	21x11 (TOP)
ACCESSORIES	ISOLATOR TYPE	INTERNAL SPRING
	CHILLED WATER	4
	HEATING WATER	-
BRANCH PIPE SIZES	CONDENSATE DRAIN	1 1/4"

EXISTING AIR COOLED CHILLER SCHEDULE

CHILLER NUMBER	EXISTING	
MANUFACTURER	CARRIER	
MODEL NUMBER	30RAP030	
REFRIGERANT	R410A	
NOMINAL CAPACITY (TONS)	30	
	GPM	60
EVAPORATOR DATA	ENTERING WATER TEMP (°F)	57
	LEAVING WATER TEMP (°F)	45
COMPRESSOR DATA	NUMBER / RLA (EACH)	2/55.8
	VOLTAGE / PHASE	230/3
CONDENSER DATA	NUMBER / FLA (EACH)	2/6.0
	AMBIENT TEMPERATURE (°F)	95
UNIT ELECTRICAL	MINIMUM CIRCUIT AMPS	137.5
	MAX FUSE SIZE (AMPS)	175

EXTERNAL STATIC PRESSURE DOES NOT INCLUDE LOSSES INTERNAL TO THE AIR HANDLING UNIT INCLUDING UNIT COMPONENTS (COILS, FANS, HEAT PIPE, FILTERS, ETC.), PLENUMS, CASING LOSS, ETC. ADD THESE LOSSES TO THE TOTAL STATIC PRESSURE WHEN SELECTING FANS. USE 0.60 IN WG FOR MID-LIFE FILTER LOSS.



ELECTRIC DUCT HEATER

HEATER	EDH-31
LOCATION	3RD FLOOR RECORD STORAGE
CAPACITY (KW)	60
VOLTAGE / PHASE	240/3
NUMBER OF CONTROL STEPS	FULLY MODULATING SCR

ELECTRIC HEATER SCHEDULE

HEATER NUMBER (EH)	WH-1	
LOCATION	BOILER ROOM	
MANUFACTURER	MARKEL	
MODEL NUMBER	3320	
CFM	175	
HEAT STRIP	KW / CONTROL STEPS	1.5/1
	VOLTAGE / PHASE	240/1
	BUILT-IN THERM OVL.	YES
	DISCONNECT SWITCH	YES
	INTEGRAL THERMOSTAT	YES - TAMPERPROOF
ACCESSORIES	24 VOLT CONTROL TRANSFORMER	YES

PROVIDE WITH ACCESSORIES FOR SURFACE MOUNT.

REVIEW PLANS AND INSTALLATION SCHEMATICS FOR ADDITIONAL REQUIREMENTS AND FOR ACCESS AND PIPING POSITIONS.

SEE DRAWINGS AND INSTALLATION SCHEMATICS FOR MAXIMUM UNIT DIMENSIONS. AND FOR BREAK DOWN REQUIREMENTS. UNIT COMPONENTS SHALL FIT THROUGH EXISTING 38" WIDE X 52" HIGH WINDOW OPENING AND SHALL BE ASSEMBLED IN PLACE. FIELD VERIFY WIDOW DIMENSIONS BEFORE RELEASING UNIT FOR FABRICATION.

TOTAL STATIC DOES NOT INCLUDE CASING LOSS IF ANY - ADD CASING LOSS WHEN SELECTING FANS.

PROVIDE 120 VOLT INTERNAL MARINE LIGHTING IN FAN, COIL, AND FILTER BOX SECTIONS. PROVIDE FACTORY ON/OFF SWITCH IN JUNCTION BOX ON EXTERIOR OF UNIT WITH FACTORY WIRED LIGHTS AND RACEWAYS WITH PLUG CONNECTION AT EACH UNIT SPLIT.

PROVIDE PERFORATED LINER IN THE FOLLOWING SECTIONS; FILTER BOX, FAN INLET ACCESS, AND FAN SECTION.

PROVIDE A KILL SWITCH ON FAN ACCESS AND INLET ACCESS DOORS INTERLOCKED WITH FAN TO DE-ENERGIZE FAN AND ALLOW FAN TO STOP BEFORE DOOR CAN BE OPENED.

AFTER RECEIVING APPROVED SHOP DRAWINGS BUT PRIOR TO ORDERING EQUIPMENT, THE EQUIPMENT VENDOR SHALL VISIT THE MECHANICAL ROOM WITH A COPY OF THE APPROVED SHOP DRAWINGS TO FIELD VERIFY EQUIPMENT DIMENSIONS, FIELD CLEARANCES, EQUIPMENT CONFIGURATION AND OTHER DETAILS TO SUIT FIELD CONDITIONS. AIR HANDLING UNIT SHALL BE DEMOUNTABLE TO FIT THROUGH BUILDING OPENINGS.

RETURN AND OUTSIDE AIR DAMPERS SHALL BE MODULATING OPPOSED BLADE TYPE.

VARIABLE SPEED DRIVE SCHEDULE

AHU-31	PROVIDE 15HP 230 VOLT, 3 PHASE REDUNDANT DRIVE.
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PUMP SCHEDULE

PUMP NUMBER	CWP-1 & 2
MANUFACTURER	BELL & GOSSETT
MODEL NUMBER	E-90 1/4" AAB
TYPE	INLINE
SERVICE	CHILLED WATER
GPM	60
TDH (FEET WG)	65
MINIMUM EFFICIENCY (%)	55
RPM	3450
MOTOR HORSEPOWER	3
VOLTAGE / PHASE	230/3

CWP-1 & 2 SHALL BE DESIGNED FOR OUTDOOR INSTALLATION AND SHALL HAVE TEFC MOTORS.

DUCTLESS SPLIT SYSTEM SCHEDULE (HEAT PUMP)

UNIT	UNIT NUMBER	39C-24	39C-24	39C-24	HSW-12	HSW-12	HSW-18	HSW-24	39C-30	CSU-24	39C-12	39C-30	
		TYPE	33x33 CEILING CASSETTE	33x33 CEILING CASSETTE	33x33 CEILING CASSETTE	HIGH SIDEWALL	HIGH SIDEWALL	HIGH SIDEWALL	HIGH SIDEWALL	33x33 CEILING CASSETTE	CEILING SUSPENDED UNIT	33x33 CEILING CASSETTE	33x33 CEILING CASSETTE
INDOOR UNIT	MANUFACTURER	MITSUBISHI	MITSUBISHI	MITSUBISHI	MITSUBISHI	MITSUBISHI	MITSUBISHI	MITSUBISHI	MITSUBISHI	MITSUBISHI	MITSUBISHI	MITSUBISHI	
	MODEL NUMBER	PLA-A24	PLA-A24	PLA-A24	PKA-A12	PKA-A12	PLA-A18	PKA-A24	PLA-A30	PCA-A24	PLA-A12	PLA-A30	
	CFM	812	413	636	918	636	812	600	812	600	812	812	
	TOTAL CAPACITY (MBH)	22.5	22.5	22.5	11.3	11.3	16.9	22.6	28.1	22.6	11.3	28.1	
	SENSIBLE CAPACITY (MBH)	16.4	16.4	16.4	8.6	8.6	13.1	19.0	20.6	15.4	9.4	20.6	
	ENTERING AIR DB (°F)	75	75	75	75	75	75	75	75	75	75	75	
HEAT PUMP	ENTERING AIR WB (°F)	62.5	62.5	62.5	62.5	62.5	62.5	62.5	62.5	62.5	62.5	62.5	
	HEAT CAPACITY (MBH)	26.9	26.9	26.9	12.1	12.1	15.1	24.2	33.9	19.4	10.2	33.9	
AIR PURIFICATION	BIPOLAR IONIZATION	-	-	-	-	-	-	-	-	-	-	-	
OUTDOOR UNIT	UNIT NUMBER	CU21	CU22	CU23	CU24	CU25	CU26	CU27	CU31	CU32	CU33	CU34	
	MODEL NUMBER	PUZ-A24	PUZ-A24	PUZ-A24	PUZ-A12	PUZ-A12	PUZ-A18	PUZ-A24	PUZ-A30	PUZ-A24	PUZ-A12	PUZ-A30	
	OPERATING WEIGHT (LBS)	175	175	175	110	110	110	175	110	175	110	110	
	AMBIENT TEMP. (°F)	95	95	95	95	95	95	95	95	95	95	95	
	EER RATIO	14.3	14.3	14.3	13.3	13.3	10.7	12.2	11.8	12.2	13.3	11.8	
	QTY / RLA (EACH)	1/7	1/7	1/7	1/7	1/7	1/7	1/7	1/7	1/7	1/7	1/7	
	FAN DATA	QTY / FLA (EACH)	1/0.4	1/0.4	1/0.4	1/0.5	1/0.5	1/0.5	1/0.4	1/0.4	1/0.4	1/0.5	1/0.4
	ELEC DATA	MINIMUM CIRCUIT AMPS	19	19	19	11	11	11	19	19	19	11	19
		MAXIMUM OVERCURRENT PROTECTION (AMPS)	26	26	26	28	28	28	26	26	26	28	26
		VOLTAGE / PHASE	230/1	230/1	230/1	230/1	230/1	230/1	230/1	230/1	230/1	230/1	230/1
ACCESSORIES	LOW AMBIENT CONTROLS	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES	
	COIL GUARDS	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES	
	CAPACITY REDUCTION	-	-	-	-	-	-	-	-	-	-	-	

ALL INDOOR UNITS SHALL HAVE AN INTEGRAL CONDENSATE PUMP AND LIFT CONDENSATE HIGH ENOUGH ABOVE THE CEILING TO ALLOW FOR SLOPING OF CONDENSATE DRAIN PIPING.

PROVIDE WALL MOUNTED PROGRAMMABLE SPACE THERMOSTAT FOR EACH INDOOR UNIT. THERMOSTAT SHALL BE ELECTRONIC WALL TYPE WITH AUTOMATIC HEATING/COOLING CHANGEOVER AND 7-DAY SCHEDULING. ALSO PROVIDE CONTROL DEVICES REQUIRED FOR COMMUNICATION BETWEEN INDIVIDUAL SYSTEM COMPONENTS.

THE EQUIPMENT AND CONTROL SYSTEM SUBMITTALS SHALL BE PREPARED AND THEN SHALL BE SUBMITTED AS A SINGLE PACKAGE. THESE SUBMITTALS SHALL DEMONSTRATE THAT ALL OF THE LABOR, MATERIALS, COMPONENTS AND APPURTENANCES ARE PROVIDED FOR A COMPLETE AND PROPERLY OPERATING SYSTEM.

HEATING CAPACITY BASED ON 70°F INDOOR AIR AND 47°F OUTDOORS.

PROVIDE MITSUBISHI SMART MA CONTROLLERS (SEE SPECIFICATIONS).

PROVIDE BACNET EMCS INTERFACE (SEE CONTROL SPECIFICATION 15650).

SPLIT SYSTEM INDOOR UNITS RECEIVE POWER FROM OUTDOOR UNITS THROUGH FIELD-SUPPLIED INTERCONNECTED WIRE.

SEE MATCHED SPLIT SYSTEMS / AIR HANDLING UNIT SCHEDULED FOR COMBINED CAPACITY WITH A DEGREE REFRIGERANT PIPING LOSS AND 95 DEGREE F AMBIENT.

PROVIDE FIELD INSTALLED LIQUID LINE DRIER AND SIGHT GLASS AT EACH OUTDOOR UNIT.

PROVIDE 5 YEAR WARRANTY ON COMPRESSORS.

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 PROJECT No. 4261

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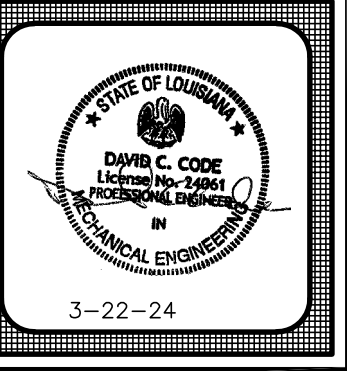
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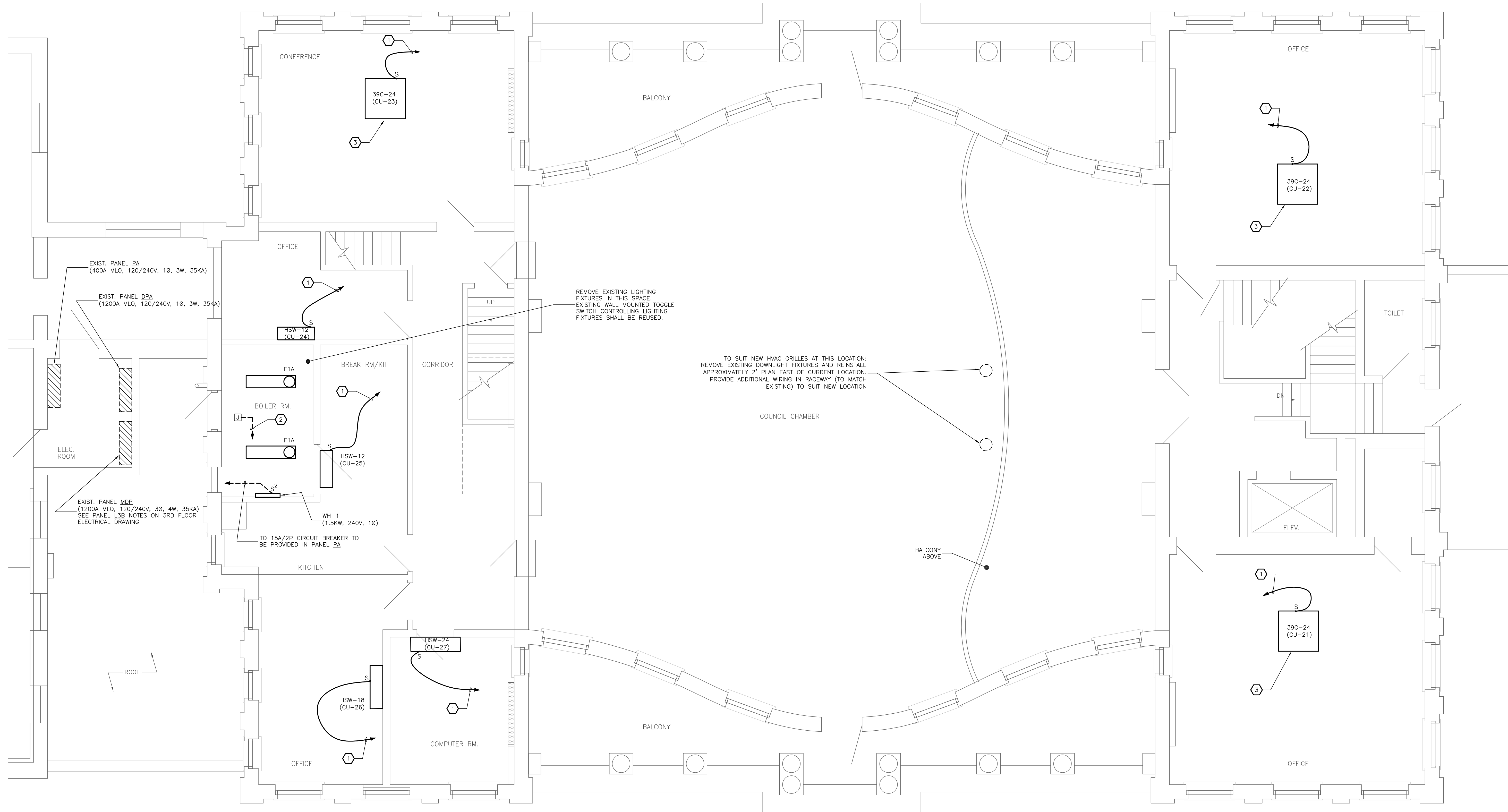
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GREINA, LA 70053

HVAC UPGRADES
GREINA CITY HALL

2nd STREET & HUEY P. LONG AVE.





NOTES

- FOR MECHANICAL EQUIPMENT LISTED IN "DUCTLESS SPLIT SYSTEM SCHEDULE", SEE "ELECTRICAL RENOVATION - THIRD FLOOR PLAN" FOR ADDITIONAL EQUIPMENT LOCATIONS.
- EQUIPMENT SHOWN DASHED IS EXISTING.

SPECIFIC NOTES:

- WIRING IN RACEWAY [PER MANUFACTURER, APPROX. 3/12 & 1/12(C) IN 3/4". VERIFY WITH MANUFACTURER PRIOR TO ROUGH-IN] TO POWER SUPPLY OF ASSOCIATED OUTDOOR UNIT. ASSOCIATED OUTDOOR UNITS IS LISTED IN PARENTHESES [INDOOR UNIT (OUTDOOR UNIT)]. SEE "DUCTLESS SPLIT SYSTEM SCHEDULE" FOR ADDITIONAL ELECTRICAL DETAILS. TOGGLE SWITCH INDICATED ON UNIT IS INTEGRAL TO UNIT.
- CONNECT TO 20A, 120V SWITCHED BRANCH CIRCUIT PREVIOUSLY SERVING LIGHTING FIXTURES IN THIS SPACE.
- REMOVE CEILING FAN AT THIS APPROXIMATE LOCATION, WHERE EXISTING LIGHTING FIXTURES AT THIS LOCATION ARE IN CONFLICT WITH NEW CEILING CASSETTE, CONTRACTOR SHALL REMOVE LIGHTING FIXTURE AND REINSTALL AS NEAR TO PREVIOUS LOCATION AS POSSIBLE. PROVIDE WIRING IN RACEWAY (TO MATCH EXISTING) AS REQUIRED TO SUIT NEW FIXTURE LOCATION.

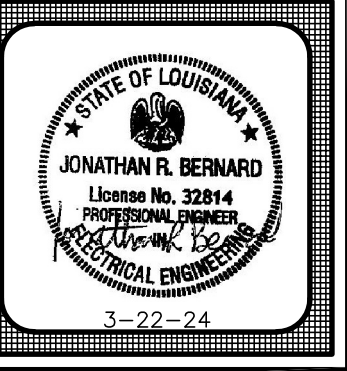
**ELECTRICAL
SECOND FLOOR PLAN**
SCALE : 1/4" = 1'-0"

DUCTLESS SPLIT SYSTEM SCHEDULE (HEAT PUMP)

OUTDOOR UNIT	COMPRESSOR	FAN DATA	ELEC DATA	UNIT NUMBER	CU21	CU22	CU23	CU24	CU25	CU26	CU27	CU31	CU32	CU33	CU34
	QTY / RLA (EACH)	QTY / FLA (EACH)	MINIMUM CIRCUIT AMPS		1/7	1/7	1/7	1/7	1/7	1/7	1/7	1/7	1/7	1/7	1/7
			VOLTAGE / PHASE		1/0.4	1/0.4	1/0.4	1/0.5	1/0.5	1/0.5	1/0.4	1/0.4	1/0.4	1/0.5	1/0.4
					19	19	19	11	11	11	19	19	19	11	19
ASSOCIATED INDOOR UNIT				UNIT NUMBER	39C-24	39C-24	39C-24	HSW-12	HSW-12	HSW-18	HSW-24	39C-30	CSU-24	39C-12	39C-30

THESE PLANS HAVE BEEN PREPARED UNDER MY CLOSE PERSONAL SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH CITY PARISH REQUIREMENTS. I AM NOT GENERALLY ADMINISTERING THE WORK, BUT NOT TO THE EXTENT THAT WILL ELIMINATE THE NEED FOR CITY PARISH INSPECTIONS.

GVA ENGINEERING, L.L.C.
PROJECT No. 4261



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GRETNA CITY HALL**

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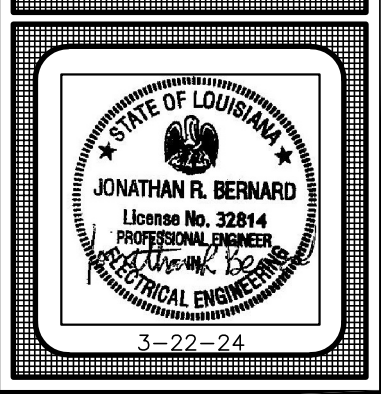
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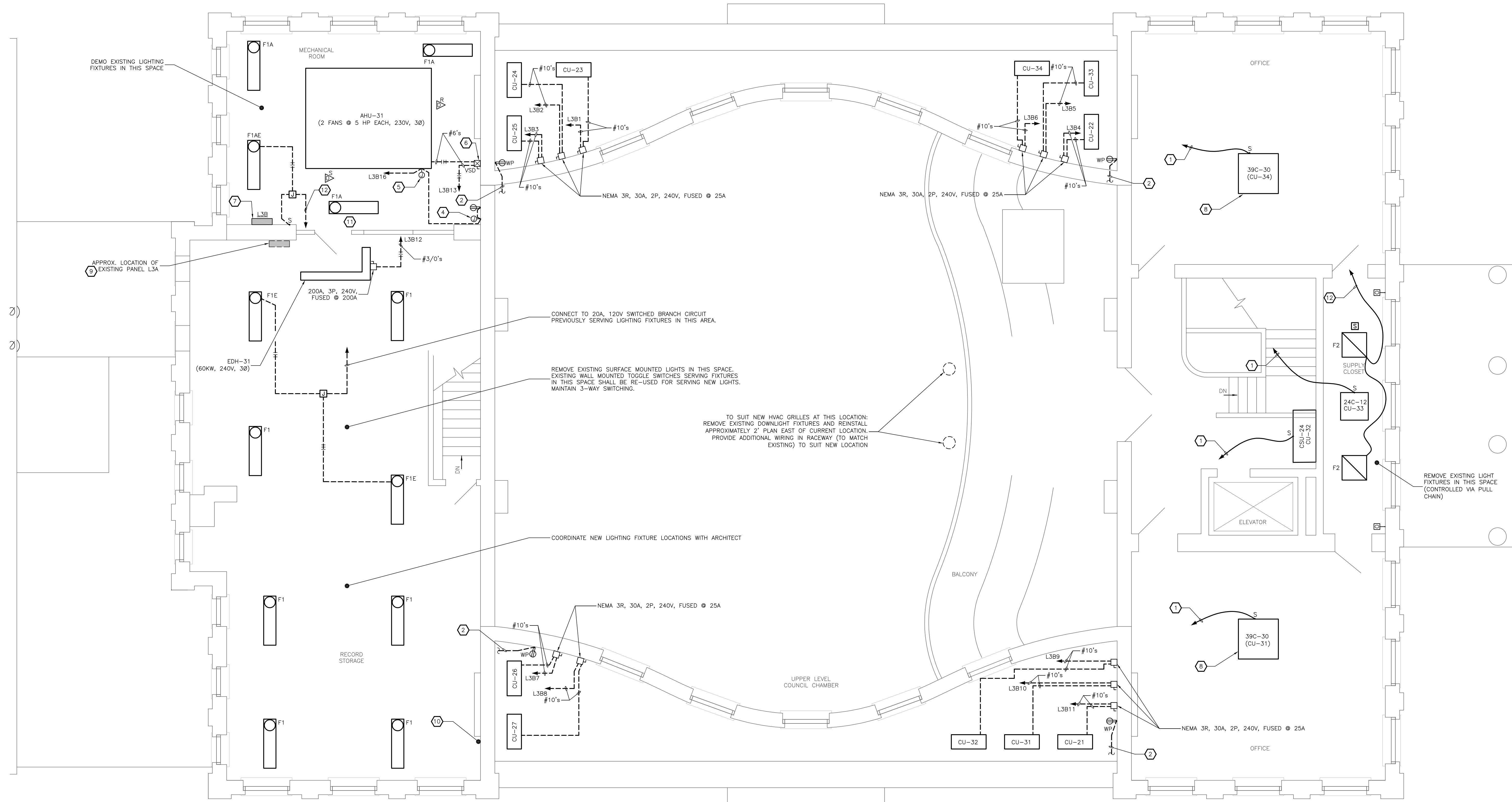
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HVAC UPGRADES
GRETNA CITY HALL
GRETNA, LA 70053

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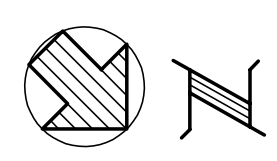
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SPECIFIC NOTES:

- 1 WIRING IN RACEWAY [PER MANUFACTURER, APPROX. 3#12 & 1#12(G) IN 3/4", VERIFY WITH MANUFACTURER PRIOR TO ROUGH-IN] TO POWER SUPPLY OF ASSOCIATED OUTDOOR UNIT. ASSOCIATED OUTDOOR UNITS IS LISTED IN PARENTHESES [INDOOR UNIT (OUTDOOR UNIT)]. SEE "DUCTLESS SPLIT SYSTEM SCHEDULE" FOR ELECTRICAL DETAILS. TOGGLE SWITCH INDICATED ON INDOOR UNIT IS INTEGRAL TO UNIT.
- 2 TO NEAREST SUITABLE 20A, 120V, UNSWITCHED BRANCH CIRCUIT SERVING RECEPTACLES IN THE AREA.
- 3 CONNECT TO SWITCHED 20A, 120V BRANCH CIRCUIT PREVIOUSLY SERVING LIGHTING FIXTURES IN THIS AREA. MAINTAIN 3-WAY SWITCHING IN THIS SPACE.
- 4 LOCATE FOR HVAC CONTROLS (120V).
- 5 CONNECT TO AHU MARINE LIGHTING (120V).
- 6 ADJUST LOCATION AS REQUIRED FOR PROPER WORKING SPACE/CLEARANCES (NEC 110.26).
- 7 COORDINATE LOCATION WITH MECHANICAL CONTRACTOR TO AVOID CONFLICTS WITH ADJACENT EXPANSION TANK AND CHILLED WATER PIPING ABOVE. PIPING SHALL NOT BE ROUTED ABOVE PANEL.
- 8 PROVIDE [4#600KC-MIL & 1#1(G) IN 4"] FROM PANEL L3B LUGS TO A 400A/3P CIRCUIT BREAKER TO BE PROVIDED IN PANEL MDP (SEE 2ND FLOOR ELECTRICAL DRAWING) AND CONNECT THERETO.
- 9 REMOVE CEILING FAN AT THIS APPROXIMATE LOCATION. WHERE EXISTING LIGHTING FIXTURES AT THIS LOCATION ARE IN CONFLICT WITH NEW CEILING CASSETTE, CONTRACTOR SHALL REMOVE LIGHTING FIXTURE AND REINSTALL AS NEAR TO PREVIOUS LOCATION AS POSSIBLE. PROVIDE WIRING IN RACEWAY (TO MATCH EXISTING) AS REQUIRED TO SUIT NEW FIXTURE LOCATION.
- 10 LOCATED ON WALL TO BE REMOVED. REMOVE PANELBOARD AND ASSOCIATED FEEDER WIRING IN RACEWAY BACK TO SOURCE. NOTE THAT EXISTING FEEDER IS FROM BELOW AND PENETRATES 3RD FLOOR SLAB (COORDINATE PATCHING/GROUTING WITH ARCHITECT). BRANCH CIRCUIT WIRING IN RACEWAY SHALL BE REMOVED TO CEILING. PROVIDE JUNCTION BOXES AND NEW WIRING IN RACEWAY (TO MATCH EXISTING) TO EXTEND BRANCH CIRCUITS TO PANEL L3B. CONNECT TO CIRCUIT BREAKER OF SAME AMPACITY/POLES AS PREVIOUSLY SERVING CIRCUIT (SEE PANELBOARD SCHEDULE). ASSOCIATED CIRCUIT BREAKER SERVING L3A FEEDER SHALL BE TURNED OFF AND LABELED "SPARE".
- 11 WHERE DATA CABLES IN THIS AREA ARE ROUTED ON EQUIPMENT TO BE REMOVED: PROTECT CABLES DURING DEMOLITION. RE-SECURE CABLES NEATLY TO WALL (AS HIGH AS POSSIBLE) ONCE DEMOLITION IS COMPLETE.
- 12 WHERE EXISTING EXPOSED WIRING IN RACEWAY TO REMAIN IN THIS AREA IS SUPPORTED BY WALLS TO BE REMOVED (SEE ARCHITECTURAL DEMOLITION DRAWING): CONTRACTOR SHALL REROUTE WIRING IN RACEWAY AS CLOSE TO CEILING AS POSSIBLE. PROVIDE WIRING IN RACEWAY (TO MATCH EXISTING). JUNCTION BOXES, ETC. AS REQUIRED FOR REROUTING. ROMEX WIRING IN THIS SPACE SHALL BE REMOVED, AND RECEPTACLES SERVED BY ROMEX SHALL BE RE-FED BY WIRING IN RACEWAY. NOTE THAT BOTH WALL-MOUNTED RACEWAYS AS WELL AS ROMEX WIRING IN THIS AREA IS LIMITED (APPROXIMATELY THREE BRANCH CIRCUITS).
- 13 CONNECT TO UNSWITCHED 20A, 120V BRANCH CIRCUIT PREVIOUSLY SERVING LIGHTING FIXTURES IN THIS AREA.

**ELECTRICAL
THIRD FLOOR PLAN**
SCALE : 1/4" = 1'-0"



NOTES

1. FOR MECHANICAL EQUIPMENT LISTED IN "DUCTLESS SPLIT SYSTEM SCHEDULE", SEE "ELECTRICAL RENOVATION - SECOND FLOOR PLAN" FOR ADDITIONAL EQUIPMENT LOCATIONS.
2. EQUIPMENT SHOWN DASHED IS EXISTING.

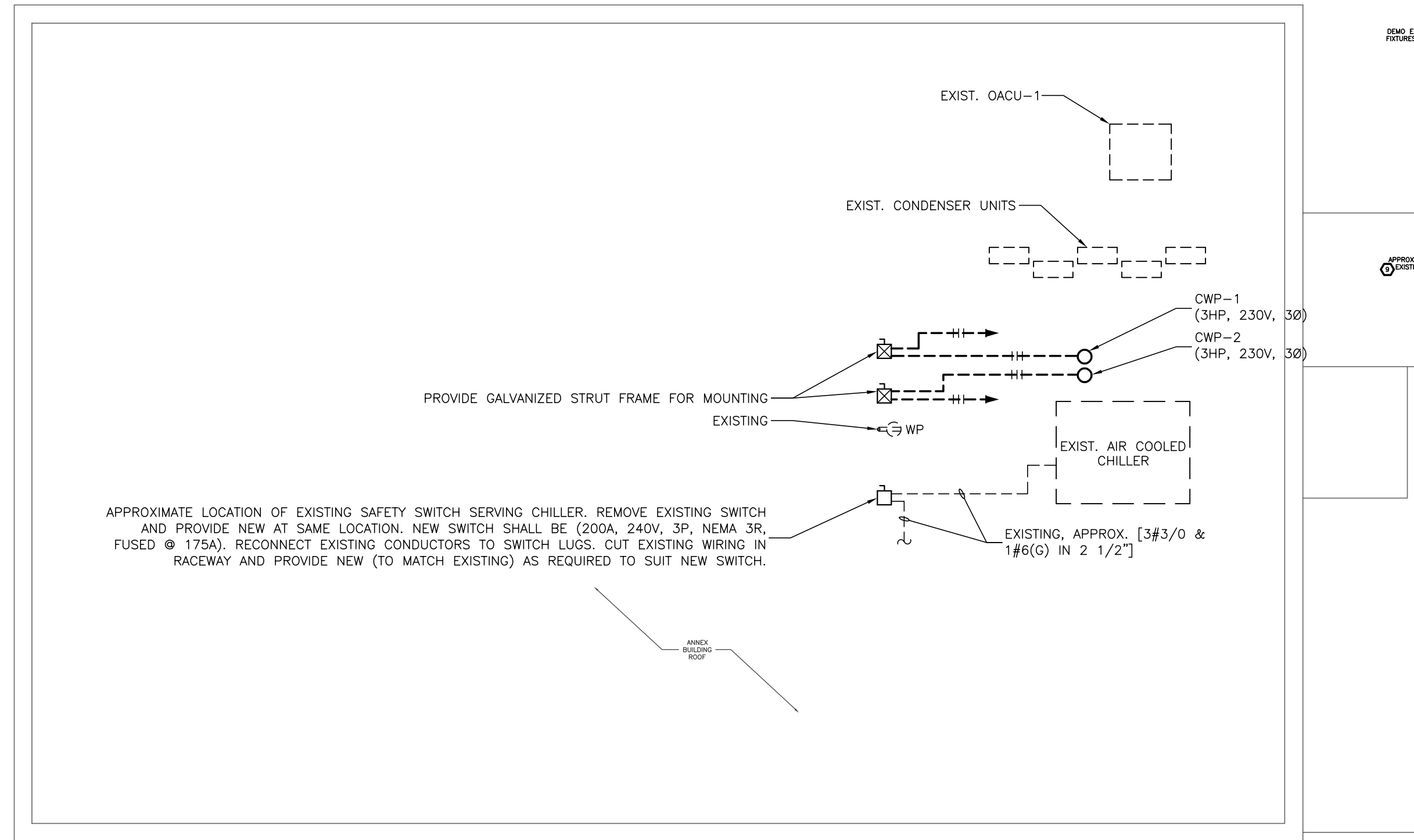
DUCTLESS SPLIT SYSTEM SCHEDULE (HEAT PUMP)

OUTDOOR UNIT	COMPRESSOR	UNIT NUMBER	CU21	CU22	CU23	CU24	CU25	CU26	CU27	CU31	CU32	CU33	CU34
			FAN DATA	QTY / RLA (EACH)	1/7	1/7	1/7	1/7	1/7	1/7	1/7	1/7	1/7
ASSOCIATED INDOOR UNIT	ELEC DATA	QTY / FLA (EACH)	1/0.4	1/0.4	1/0.4	1/0.5	1/0.5	1/0.5	1/0.5	1/0.4	1/0.4	1/0.5	1/0.4
	MINIMUM CIRCUIT AMPS	19	19	19	11	11	11	11	19	19	11	19	19
	VOLTAGE / PHASE	230/1	230/1	230/1	230/1	230/1	230/1	230/1	230/1	230/1	230/1	230/1	230/1
	UNIT NUMBER	39C-24	39C-24	39C-24	HSW-12	HSW-12	HSW-18	HSW-24	39C-30	CSU-24	39C-12	39C-30	

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APPROXIMATE LOCATION OF EXISTING SAFETY SWITCH SERVING CHILLER. REMOVE EXISTING SWITCH AND PROVIDE NEW AT SAME LOCATION. NEW SWITCH SHALL BE (200A, 240V, 3P, NEMA 3R, FUSED @ 175A). RECONNECT EXISTING CONDUCTORS TO SWITCH LUGS. CUT EXISTING WIRING IN RACEWAY AND PROVIDE NEW (TO MATCH EXISTING) AS REQUIRED TO SUIT NEW SWITCH.

ELECTRICAL PARTIAL ROOF FLOOR PLAN

SCALE : 1/8" = 1'-0"

SYMBOL SCHEDULE

- LED FIXTURE, RECESSED.
- LED FIXTURE, SURFACE MOUNTED OR SUSPENDED.
- S_0 20A/1P WALL SWITCH (OR ON/OFF CONTROL STATION WHERE INDICATED). SUBSCRIPT DENOTES OUTLET CONTROLLED.
- S_{WP} SAME AS S EXCEPT WEATHERPROOF.
- S^2 20A/2P WALL SWITCH.
- 20A/2P, 3-WIRE, 125V, GROUNDING TYPE DUPLEX RECEPTACLE, NEMA 5-20R.
- GFI SAME AS EXCEPT WITH GROUND FAULT INTERRUPTER.
- WP SAME AS GFI EXCEPT WEATHERPROOF.
- ON/OFF CONTROL STATION, WALL MOUNTED.
- AUTOMATIC LIGHTING SHUTOFF DEVICE, CEILING MOUNTED.
- JUNCTION BOX 4 11/16" OR LESS, WALL MOUNTED.
- SAME AS EXCEPT PROVIDE WIRING IN RACEWAY TO EACH LIGHTING FIXTURE IN THIS ROOM AS WELL AS TO CONTROL DEVICES, SWITCHES, ETC. USING OTHER OUTLET BOXES AS SPECIFIED.
- JUNCTION BOX, LARGER THAN 4 11/16".
- LIGHTING PANELBOARD.
- DISTRIBUTION PANELBOARD.
- SAFETY SWITCH.
- VSD VARIABLE SPEED DRIVE (FURNISHED UNDER DIVISION 15).
- COMBINATION STARTER/DISCONNECT. (FURNISHED UNDER DIVISION 15).
- $FACP$ FIRE ALARM CONTROL PANEL.
- AIR-STREAM SMOKE DETECTOR. "R" INDICATES IN SUPPLY AIR-STREAM, "S" INDICATES IN SUPPLY AIR-STREAM.
- WIRING IN RACEWAY CONCEALED OVERHEAD OR IN WALLS (CROSSBARS DENOTE NUMBER OF CONDUCTORS WHEN MORE THAN TWO). REQUIRED GREEN EQUIPMENT GROUNDING CONDUCTOR IS NOT SHOWN AS A CROSSBAR). ARROWS INDICATE NUMBER OF CIRCUITS.
- WIRING IN RACEWAY RUN EXPOSED.
- E "E" ADJACENT TO A DEVICE INDICATES THAT IT HAS EMERGENCY BATTERY PACK (CONNECTED TO UNSWITCHED CIRCUIT).

FIXTURE SCHEDULE

- F1 4SNLED-LD5-32SL-UNV-L835-CD-1 SERIES OR EQUAL, SURFACE MOUNTED, 4' LENSED LED LIGHTING FIXTURE, COLD ROLLED STEEL HOUSING WITH BAKED WHITE ENAMEL FINISH, DAMP LOCATION LISTED, SEMI-FROST LENS, INTEGRAL 0-10V DIMMING DRIVER, 120-277V, WITH 6400 LUMEN OUTPUT (MINIMUM). [30WATTS]
- F1A SAME AS F1 EXCEPT WITH 3200 LUMENS OUTPUT (MINIMUM).
- F1AE SAME AS F1A EXCEPT WITH EMERGENCY BATTERY BACKUP.
- F1E SAME AS F1 EXCEPT WITH EMERGENCY BATTERY BACKUP.
- F2 COOPER METALUX 22CZ-LD5-34-UNV-L835-CD1 SERIES OR EQUAL, RECESSED 2'X2' LED TROFFER, COLD ROLLED STEEL HOUSING WITH MATTE WHITE ENAMEL FINISH, RIBBED FROSTED ACRYLIC CENTER LENS, INTEGRAL 0-10V DIMMING DRIVER, 120-277V, WITH 3,400 LUMENS OUTPUT (MINIMUM).

FIRE ALARM NOTE:

- 1. THERE IS AN EXISTING NOTIFIER NFS-320 FIRE ALARM SYSTEM IN THE BUILDING. FIRE ALARM CONTROL PANEL IS LOCATED ON THE FIRST FLOOR, NEAR THE MAIN ENTRANCE.

DEMOLITION NOTE:

- 1. COORDINATE WITH MECHANICAL DRAWINGS FOR MECHANICAL EQUIPMENT BEING REMOVED. SEE SPECIFICATIONS FOR DEMOLITION REQUIREMENTS.

IECC (2021) COMPLIANCE NOTES:

- 1. **MECHANICAL/BOILER ROOMS**
OVERVIEW:
LIGHTING FIXTURES CONTROLLED VIA EXISTING WALL MOUNTED TOGGLE SWITCHES.
OCCUPANT SENSOR CONTROLS NOT REQUIRED FOR MECHANICAL SPACES PER 405.2.1.
CODE REQUIREMENTS SUPPORTED
C405.2.1 OCCUPANCY SENSOR CONTROL
- 2. **3RD FLOOR SUPPLY CLOSET**
OVERVIEW:
LIGHTING FIXTURES CONTROLLED VIA OCCUPANCY SENSORS AND WALL-MOUNTED ON/OFF CONTROLLERS. NO SPACES EXCEED 150W LIGHTING ZONE THRESHOLD FOR REQUIREMENT OF DAYLIGHT RESPONSIVE CONTROLS AS PER C405.2.4
SEQUENCE OF OPERATION
LIGHTING FIXTURES MANUAL-ON TO 100%
LIGHTING FIXTURES AUTO-OFF WITHIN 20 MINUTES OF VACANCY.
CODE REQUIREMENTS SUPPORTED
C405.2.1 OCCUPANCY SENSOR CONTROL
- 5. **3RD FLOOR RECORD STORAGE**
OVERVIEW:
WHERE NEW LIGHTING FIXTURES ARE SHOWN, EXISTING FIXTURES ARE BEING REMOVED AND REINSTALLED AT THE SAME APPROXIMATE. EXISTING FIXTURES ARE FLUORESCENT AND NEW FIXTURES ARE LED WITH SIMILAR LUMEN OUTPUT. INTERIOR LIGHTING POWER IS NOT INCREASING IN THESE SPACES.
CODE REQUIREMENTS SUPPORTED
C503.5 LIGHTING ALTERATIONS

PANELBOARD SCHEDULE

PANEL	TYPE	VOLTS	PHASE WIRE	AMPS	AIC	FUSE OR CB	MLO OR MCB	GROUND BUS SURFACE OR FLUSH	BRANCH CIRCUITS				REMARKS		
									NO.	CB FRAME OR SW. SIZE	POLES	CB TRIP OR FUSE		CIRCUIT NUMBERS	
L3B	LTG	120/240	3ø,4W	400	35K	CB	MLO	Y	SURF	11	70	2	30	L3B1-11 (HEAT PUMPS)	
										1	70	3	200	L3B12 (EDH-31)	
										1	70	2	45	L3B13 (AHU-31)	
										2	70	3	20	L3B14, 15 (CWP-1,2)	
										1	70	1	20	L3B16	
										4	70	1	20	SPARE	
										11	70	1	-	SPACE	
										3	70	1	20	L3B17-19	
										1	70	2	20	L3B20	
															EXISTING CIRCUITS PREVIOUSLY FED FROM REMOVED EXISTING PANEL L3A

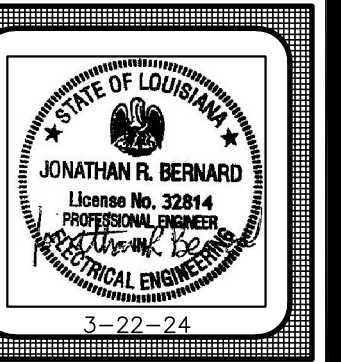
GVA ENGINEERING, L.L.C.
PROJECT No. 4261

HVAC UPGRADES
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DATE: 3-22-24
DRAWN BY: JHV
REVISIONS:

E-3

SHEET OF

GVA PROJECT No. 4261
CAD FILE AC-3rd FL-PLN
LAST REVISION 02-14-23
PLOT DATE 02-14-23
PLOT SCALE 1=1